

OFFICE OF THE MAYOR  
THE CITY OF NEW YORK

ALICIA K. GLEN  
DEPUTY MAYOR FOR HOUSING AND  
ECONOMIC DEVELOPMENT

August 21, 2017

The Honorable Donovan Richards  
New York City Council  
City Hall  
New York, NY 10007

Dear Council Member Richards,

Since releasing the *Downtown Far Rockaway Roadmap for Action* in August of 2016, we have worked with you to advance comprehensive neighborhood strategies to ensure the revitalization of this unique area. Just in the past year, we have invested in storefront improvements, worked with local businesses to implement resilient wireless mesh networks, completed the final phase of the Rockaway boardwalk, and released an RFP for the redevelopment of a key City-owned site. Of utmost importance to the implementation of the *Roadmap for Action* are land use actions that set the stage for the revitalization of the area. Through the rezoning, the establishment of a special zoning district, the creation of an Urban Renewal Area, and the disposition of City-owned properties, we are updating decades-old zoning and addressing long-underutilized properties that have held back Downtown Far Rockaway for far too long.

The unprecedented interagency effort to prepare and execute the *Roadmap for Action* has included close consultation with your office, as well as the Working Group, several public forums, briefings and presentations to the Community Board and committees, and countless one-on-one discussions with stakeholders. As community engagement has always been at the heart of this initiative, the input from these efforts has been invaluable and is reflected throughout the plan's strategies and proposals.

Throughout the development of this plan, a number of issues and needs have been raised by you and echoed by the Far Rockaway community. As indication of the Administration's commitment to implement this far-reaching plan, and in order to marry the land use actions with discrete investments in capital projects and programs in the area, the Administration has prepared a set of strategies that will be deployed in the coming years. Attached in Exhibit A are commitments that are specifically designed to encourage economic development, provide and protect affordable housing, improve transportation, create additional open space, and strengthen community resources.

Thanks to your leadership and dedication, the City is on the cusp of turning the page for Downtown Far Rockaway and putting the area on a positive trajectory—to the benefit of residents, businesses, and beyond. We thank you for your effective advocacy on behalf of the community, and we look forward to a continued partnership with you to achieve our common goals.

Sincerely,

A handwritten signature in cursive script, appearing to read "Alicia K. Glen".

Alicia K. Glen

## **Downtown Far Rockaway Neighborhood Strategies**

Building on the goals outlined in the *Downtown Far Rockaway Roadmap for Action* and in coordination with the land use actions proposed under the *Downtown Far Rockaway Redevelopment Project*, the City will advance the following additional strategies in reflection of the Administration's valued partnership with the Council Member and a holistic commitment to supporting the long-deferred vision of a revitalized Downtown Far Rockaway.

The *Downtown Far Rockaway Redevelopment Project* focuses on land use and zoning, economic development, housing, transportation, public space, community services and culture, all of which are conceived to work together to improve the quality of life for Downtown Far Rockaway residents and unlock opportunity. The strategies below reflect over \$126million in new City funding for various projects.

### **ECONOMIC DEVELOPMENT**

#### ***Promote local hiring and job opportunities for area residents***

SBS prepares and connects qualified jobseekers to employers with job opportunities in New York City. The Rockaway Workforce1 Center in Arverne provides recruitment expertise, industry knowledge, and skill-building workshops to connect these candidates to job opportunities. SBS will host monthly meetings at the Rockaway Workforce1 Center with community partners, including Rockaway Development & Revitalization Corporation (RDRC) and Ocean Bay Community Development Corporation, to connect Far Rockaway residents with workforce opportunities. Building on existing services, SBS will enhance outreach to the local community including quarterly recruiting events with various community partners such as faith based organization, the Queens Public Library, and other groups.

At the Rockaway Workforce1 Career Center, Rockaway residents will be able to connect to the City's newly expanded HireNYC program. As one of the largest targeted hiring programs in the nation, HireNYC will allow the City to leverage its economic development investments to connect more New Yorkers to jobs while helping local businesses find the talent they need. HireNYC now requires contractors, subcontractors, and developers with a City contract worth at least \$1 million or a housing project that receives at least \$2 million in HPD subsidy to post open positions through the Workforce1 system and consider qualified candidates, making it easier for local jobseekers to connect to good job opportunities.

**Timeline:** Commencing Fall 2017

#### ***Support area M/WBEs***

To ensure that the City's procurement reflects the diversity of our city and business owners, SBS certifies, promotes, and fosters the growth of the City's M/WBEs. SBS will work with the Council Member to host M/WBE certification events in the district. In addition, it will provide a number of capacity building services to M/WBE business owners in Downtown Far Rockaway. These include certifying firms with contract financing assistance, business courses, one-on-one technical assistance, networking and educational events, assistance with obtaining bonds, and access to City and private sector contracting opportunities. Residents of Far Rockaway can access these opportunities by calling the Certification Helpline or visiting any one of the seven NYC Business Solutions Centers, including the NYC Small Business Support Center located in Jamaica.

**Timeline:** Commencing Fall 2017



***Support existing businesses through free legal services and other business outreach efforts***

SBS offers commercial lease education workshops across the boroughs to teach New York City entrepreneurs about the components of a commercial lease and the implications of signing one. SBS also connects businesses to commercial lease consultations with pro bono lawyers who will review their lease and answer their questions and concerns one-on-one, and is in the process of further expanding legal services to serve more businesses, like those facing commercial tenant harassment from landlords.

In Downtown Far Rockaway, SBS will conduct door-to-door engagement with business owners and provide neighborhood-specific services to meet business needs through Chamber-on-the-Go and expanded Workforce 1 services. SBS will roll out additional entrepreneurship education programs for immigrant and women-owned businesses, including Women Entrepreneurs NYC (WENYC) workshops on credit, funding, and leadership, in addition to one-on-one financial counseling and mentorship sessions. SBS will continue to monitor needs and provide appropriate entrepreneurship resources in coordination with community partners such as the Queens Public Library.

Finally, SBS will work with business owners in Downtown Far Rockaway to coordinate consultation visits from our Compliance Advisors, who educate business owners on how to avoid the most commonly issued City violations.

**Timeline:** Programs will start in Fall 2017

**Budget:** \$50,000 for new neighborhood-specific programming

***Complete Commercial District Needs Assessment, including BID feasibility study***

SBS will conduct a Commercial District Needs Assessment (CDNA) to look at the existing storefront business landscape in the neighborhood, including the retail vacancy rate, retail mix, retail leakage, physical conditions, and unique character of the commercial corridors and local businesses. The CDNA serves as a tool to identify the area's strengths, challenges, and opportunities for local neighborhood revitalization. The CDNA also includes community-driven findings and recommendations for possible merchant organizing, the feasibility of BID formation, public programming, and district marketing.

**Timeline:** Commencing Fall 2017 through Summer 2018

**Budget:** \$100,000

***Launch Business Incubation Services in Far Rockaway***

SBS will work with the Council Member's Office and Workforce1 Center to encourage local business owners and aspiring entrepreneurs to apply and participate in the full suite of FastTrac NewVenture and FastTrac Growth Venture business incubation workshops in Downtown Far Rockaway at dedicated spaces including the Workforce1 Center and local community organizations such as the Queens Public Library. These are free, 10-session, 40-hour courses for aspiring entrepreneurs and business owners to refine their business models, create effective financial management tools, devise marketing plans, make strategic investments, and drive sales. These courses are led by experienced facilitators, business experts, and successful entrepreneurs, thereby serving as resources and role models for business owners in the community.

**Timeline:** Programs will start Fall 2017

**Budget:** \$50,000

***Explore potential business incubation space in Far Rockaway to support area businesses***

Downtown Far Rockaway is home to many aspiring entrepreneurs who are looking to grow their businesses and may need space. Working through SBS and/or NYCEDC, the City will assess the current business



landscape and identify the space and programming that would be most appropriate and relevant to area businesses. In spring 2018, the City will report back to the Council Member on a suggested course of action, which could include additional resources for existing programs, the release an RFEI seeking proposals from operators, or other strategies.

**Timeline:** Report to Council Member on potential recommendations by end of Q1 2018

***Support the opportunity to bring LinkNYC to Downtown Far Rockaway***

LinkNYC is a first-of-its-kind communications network that will replace pay phones across the five boroughs with new structures called Links. Each Link provides superfast, free public Wi-Fi, phone calls, device charging and a tablet for access to city services, maps and directions. In order to allow for future installation of Links in Downtown Far Rockaway, the LinkNYC franchisee will coordinate with DOT-DDC and will install the required subsurface infrastructure within the DOT-DDC capital reconstruction project.

**Timeline:** Conduit installation to commence in 2019

***Continue implementation of RISE:NYC program in Far Rockaway***

RISE:NYC is a business recovery and resiliency program, launched in the aftermath of Hurricane Sandy, that helps small businesses adapt to and mitigate the impacts of climate change. With support through RISE:NYC, a company named New America is currently working in partnership with the Rockaway Development and Revitalization Corporation (“RDRC”) to install resilient mesh wireless networks for Sandy-impacted small businesses and to train the local workforce in its deployment. Implementation of this project is underway, and the City estimates that approximately 15 businesses will participate in the program.

**Timeline:** Fall 2017 – ongoing

***Support for Cultural Activities in Far Rockaway***

The Department of Cultural Affairs will grant \$50,000 to the Queens Council for the Arts for the following initiatives in Downtown Far Rockaway: 1) Regrant Program, which enables the Council to support small organizations for various cultural events (e.g. local dance/music/visual arts groups); 2) Professional Development for Artists and Arts Organizations, which funds individuals and groups to build capacity; and 3) High School Portfolio Preparation Program, which helps students to create art portfolios to apply to specialized high schools. The Queens Council will work with the Councilmember to determine how best to use these funds in the district.

**Timeline:** Fall 2017 – 2018

**Budget:** \$50,000

**HOUSING**

The City of New York, acting through the Department of Housing Preservation and Development (HPD) and the New York City Economic Development Corporation (EDC), is working to address the range of needs and priorities of the Downtown Far Rockaway neighborhood. The City proposed to undertake the following housing goals, strategies, and actions.

**Develop New Affordable Housing**

The City is working to invest in Downtown Far Rockaway by encouraging the development of housing, and ensuring that a substantial portion of the new housing built is affordable.

***Develop 100% affordable housing on public land***



The City commits to financing the development of 100% affordable housing on the existing public site (known as the Beach 21<sup>st</sup> Street site at Block 15705, Lot 69 and Part of Lot 59), and future public sites within the rezoning area. The Beach 21<sup>st</sup> Street site would facilitate the development of approximately 150-200 units of affordable housing in accordance with HPD term sheets. Although responses are still being reviewed, the City expects to finance the development of this site under the Mix and Match term sheet, under which the City commits to financing 20% of the total number of units affordable to families earning 30% AMI, and no units will be offered for households earning above 110% of AMI. The City commits to including a retail and/or community facility component within the ground floor of development on the Beach 21<sup>st</sup> Street site. The City commits to providing an update to the Council Member on the selection process in fall 2017.

Additionally, HPD will continue to prioritize planning and development efforts for investments in new affordable housing on publicly-owned land in the adjacent Edgemere and Arverne East neighborhoods.

Timeline: Fall 2017

***HPD will provide support to community land trusts to create new permanently affordable homeownership opportunities***

HPD recently announced an award of \$500,000 from Enterprise Community Partners to the Interboro CLT, a partnership of the Center for NYC Neighborhoods, the Urban Homesteading Assistance Board (UHAB), the Mutual Housing Association of New York (MHANY), and Habitat for Humanity that intends to create a land trust in nearby Edgemere. Over the next 24 months, the grant will fund operations and start-up support while the Interboro CLT works to identify sites for acquisition in Edgemere and elsewhere.

Timeline: 2017 – 2019

***Establish an Urban Renewal Area to enable mixed-use development***

In order to ensure that development moves forward in Downtown Far Rockaway after years of false-starts, the City will establish an Urban Renewal Area (“URA”). The City projects that approximately 1,700 units of housing can be developed in this URA. While there are several scenarios under which development in the URA may proceed, it is the City’s goal to facilitate a compelling mixed-use, mixed-income, phased 100% affordable development. Under the HPD’s existing ELLA term sheet, for instance, 70% of those units would be affordable to families earning less than 60% AMI, and under Mix and Match 40-60% of units would be affordable to households earning less than 60% AMI with the remainder of units affordable to those earning less than 130% AMI. Both ELLA and Mix and Match term sheets require inclusion of between 20-40% of units targeted to extremely low and very low income households. Should the Mix and Match term sheet be used on the first phase of a development within the URA, HPD commits to financing units affordable to families earning 30% AMI in addition to requiring 10% of units be reserved for formerly homeless families. As described elsewhere in this document, the City intends to reserve space within the URA for various desired uses such as a potential school, potential community facility use, and potential business incubator space.

Timeline: 2017 – ongoing

***Continue to offer financing to incentivize the development of affordable housing on privately owned sites in Downtown Far Rockaway***

In June 2017, HPD released updated ELLA and Mix and Match programs to allow for deeper affordability and greater flexibility in affordability levels that buildings can serve. Because rents in Downtown Far Rockaway do not currently support the creation of 100% market rate housing, we expect owners of private sites seeking to engage in residential development to approach the City for financing. When approached by private owners, the City will utilize its term sheets to incentivize the maximum number of affordable units



at a range of income levels, including extremely-low, low and moderate income households. Doing so will complement the overall strategy of the neighborhood rezoning to promote economic revitalization and quality housing affordable to a mix of incomes.

**Timeline:** 2017 – ongoing

***Encourage green infrastructure in all new developments on City-owned sites***

HPD will require all new construction and substantial rehabilitation projects in the rezoning area that are receiving funding from HPD to comply with the Enterprise Green Communities Criteria. These criteria provide proven, cost-effective standards for creating healthy and energy-efficient homes.

**Timeline:** 2017 – ongoing

**Increase Access to Affordable Housing**

HPD has worked with community partners to better understand the needs of affordable housing applicants in Far Rockaway and has made improvements to the overall application process.

***Make it easier for residents to understand, prepare for, and complete the affordable housing application process through the Housing Ambassadors program.***

In order to build the capacity of current Far Rockaway Housing Ambassador partners Margert Community Corporation and Ocean Bay CDC, HPD will offer a Housing Ambassador training in Far Rockaway in 2018 order to make it easier for local organization staff and community leaders to attend and thereby assist Far Rockaway residents with the affordable housing application process.

**Timeline:** Fall 2018

***HPD will expand requirements for developers to advertise open housing lotteries on construction sites and notify interested applicants.***

Developers will be required to post contact information on construction sites for interested applicants, in addition to posting information online on *Housing Connect*.

***Dedicate rental assistance to help move homeless families out of shelter and into stable, affordable housing***

The City's Rental Assistance programs were created to help homeless families and individuals move from temporary, emergency shelter back to the community as quickly as possible by paying a portion of their rent. The Human Resources Administration ("HRA") will dedicate City rental assistance resources to help 200 homeless families and individuals from Far Rockaway (zip codes 11692, 11691) who are currently living in shelters move back into the neighborhood if they so choose.

**Timeline:** Starting Fall 2017

**Budget:** 200 rental assistance vouchers

**Preserve Existing Affordable Housing**

The Administration is deeply committed to the preservation of existing affordable housing in Downtown Far Rockaway. We will utilize several strategies to ensure that affordability is maintained, and that the physical and financial health of existing affordable properties is maintained or improved.

***Keep existing homes affordable by continuing to offer loans and tax incentives to building owners***

Building on recent successes—with 2,854 units in the Council Member's district preserved between 2014 and 2017—HPD will continue to seek opportunities to preserve and invest in existing affordable housing through its various programs.

**Timeline:** 2017 – ongoing



***Implement an extensive outreach strategy to promote programs that could help homeowners and multifamily property owners make repairs and preserve affordability for existing tenants***

HPD's Neighborhood Education and Outreach Unit hosts landlord and homeowner resource fairs. HPD commits to hold its next resource fair in spring 2018. Multifamily buildings in Far Rockaway are included in citywide and boroughwide mailings and robocalls to share information on HPD's loan and tax incentive programs. HPD will begin work in fall 2017 with CNYCN and their partners to conduct outreach to homeowners to provide financial and legal counseling and prevent foreclosures.

**Timeline:** Fall 2017 – Spring 2018

***Support the community's application for the establishment of a Cease and Desist Zone to protect homeowners from unwanted solicitation***

HPD will support the community's preparation of application for the *Cease and Desist Zone* program to the State. HPD can offer guidance and expert testimony through the public process.

**Timeline:** 2017 – ongoing

**Promote Safe and Healthy Housing**

***Launch the Zombie Homes Initiative***

HPD will work closely with the Council Member and the community in launching a new initiative to address the problem of "zombie" properties—which can be defined as vacant and distressed small homes, whose owners have fallen behind on their mortgage payments. Zombie properties lead to lower property values and higher crime rates in the surrounding area. Through the Zombie Homes Initiative, HPD will help enforce a New York State law, the Zombie Property and Foreclosure Prevention Act of 2016, requiring banks to inspect, report, and maintain zombie properties. As a first step, beginning in Fall 2017, HPD will work collaboratively with the community to identify properties believed to be zombie properties so the City can create a database to check against the State's list. Additionally, HPD will begin outreach in Fall 2017 to connect homeowners to available foreclosure prevention resources and counseling.

**Timeline:** 2017 - 2018

***Provide resources to educate and support tenants facing potential harassment***

HPD will work with the Tenant Harassment Prevention Task Force to investigate and take action against landlords who harass tenants. HPD will educate tenants about their rights and resources to prevent displacement through public information campaigns and through coordination with the Council Member's office and the Community Board. Additionally, HPD's Neighborhood Education and Outreach Unit hosts tenant resource fairs, where they provide information about tenants' rights, legal services, rental assistance programs, and the affordable housing application process. HPD commits to hold the next resource fair in spring 2018.

**Timeline:** Spring 2018

***Provide tenant legal services to keep families and individuals stably housed and preserve affordable housing***

Since 2014, the City has increased investment in tenant legal services programs, to help families and individuals remain in their homes and prevent the loss of affordable housing. The City's new Universal Access to Counsel program dedicates \$93 million, on top of the \$62 million already allocated, to ensure free legal representation for low-income tenants (under \$50,000 for a 4-person family) and free legal counseling for those that earn more. The Human Resources Administration will provide tenant legal services in zip codes 11692 and 11691, to prevent unlawful evictions, harassment by unscrupulous landlords and displacement.



**Timeline:** Fall 2017 – ongoing

### **Promote Economic Opportunity**

HPD is committed to leveraging its investments in affordable housing to create local jobs and strengthen small businesses.

#### ***Require HPD RFP respondents to implement a targeted hiring outreach plan***

HPD will require respondents to any HPD RFPs in Downtown Far Rockaway to demonstrate a plan for targeted employment outreach to residents of the Rockaways related to the proposed project(s). Applicants will be required to comply with and report on their outreach.

**Timeline:** Fall 2017 - ongoing

#### ***Require developers, general contractors, and subcontractors on major projects in Downtown Far Rockaway to use HireNYC***

All firms working on HPD and other City projects receiving more than \$1 million in City subsidy (\$2 million from HPD) are required to share job openings in entry- and mid-level construction positions with HireNYC, post at the local Workforce1 Center in Arverne, and interview any qualified candidates.

**Timeline:** Fall 2017 - ongoing

#### ***Expand opportunities for M/WBEs in the affordable housing development industry***

HPD's new M/WBE Build Up Program requires developers of projects where HPD contributes \$2 million or more in subsidy to spend at least a quarter of all HPD-supported costs on certified M/WBE construction, design, or professional service firms. HPD will partner with the Council Member to hold a networking and outreach event for M/WBE and small businesses by the spring of 2018 with the intent of identifying possible opportunities for these businesses to work on HPD-supported affordable housing projects in Downtown Far Rockaway.

**Timeline:** Spring 2018

## **TRANSPORTATION**

#### ***Implement a comprehensive streetscape improvement project in Downtown Far Rockaway, coordinating with district-wide sewer infrastructure upgrades***

DOT's Downtown Far Rockaway Streetscape Reconstruction project will reconstruct Mott Avenue from Redfern Avenue to Beach 17<sup>th</sup> Street, on Beach 21<sup>st</sup> and Beach 20<sup>th</sup> Street from Mott Avenue to Cornaga Avenue, and on Central Avenue from Mott Avenue to Foam Place. Mott Avenue will have expanded sidewalks with new street trees and improved street lighting. This project will also introduce a new DOT public plaza that safely connects pedestrians between the A-train on Beach 22<sup>nd</sup> Street and regional buses on Beach 21<sup>st</sup> Street, along with a new gathering space for residents and visitors. This project will be constructed in conjunction with the installation of DEP storm and sanitary sewer infrastructure, supporting the City's rezoning efforts and strengthening resiliency in the wake of extreme weather events. DOT is also currently exploring an interim project, which will use agency in-house materials (markings, signage, etc.) to enhance safety, mobility and quality of life around the intersection of B. 22<sup>nd</sup> Street. DOT aims to share preliminary designs with the Council Member in spring 2018.

**Timeline:** Construction start in summer 2019

**Budget:** \$77million

#### ***Implement immediate short-term measures to address drainage issues in Arverne***



In acknowledgement of area drainage issues highlighted by the Council Member, the City will take near-term action to address these conditions, even while evaluating long-term solutions. By Fall 2017, DEP will install two to three new storm sewer extensions, pending the results of a feasibility study to determine optimal locations. By Fall 2017, DOT will assess the area streets for potential resurfacing and/or pothole mitigation. The City will continue to monitor the drainage situation in Arverne and will work with the Council Member to advance near-term and long-term plans.

**Timeline:** Fall 2017

***Install new bus shelters in the Downtown Far Rockaway area***

As part of the Downtown Far Rockaway Streetscape Reconstruction project, DOT plans to install two bus shelters and twelve leaning bars at bus stops across the area. DOT plans to create an improved linear bus terminal on Beach 21<sup>st</sup> street with bus shelters, two leaning bars and street trees to improve the passenger waiting experience.

**Timeline:** Construction start in summer 2019

**Budget:** included streetscape and infrastructure project described above

***Pilot car share program in Far Rockaway***

The Eastern Rockaways is a designated pilot neighborhood for DOT's on-street car share parking pilot. In fall 2017, the city will distribute permits for up to 18 designated curbside spaces in the Eastern Rockaways to participating car share providers. As part of the pilot program, DOT will provide incentives for car share companies to offer discounts and conduct outreach to local NYCHA residents and Section 8 recipients.

**Timeline:** 2017 – 2019

***Install real-time bus arrival displays at key bus stops***

DOT will install nine wayfinding totems with real-time bus arrival displays at Q22/Q52/Q53 bus stops in the Rockaways. These totems will provide real-time bus arrival information for both local and SBS routes.

**Timeline:** Fall 2017

**Budget:** \$200,000

***Explore the feasibility of a new ferry landing east of 108<sup>th</sup> Street***

EDC is currently in the process of determining the feasibility of an additional ferry landing east of 108th street. EDC will commit to sharing the results of the feasibility study with the Council Member at its conclusion this fall.

**Timeline:** Fall 2017

***Pilot ferry service shuttle from Downtown Far Rockaway to current Beach 108<sup>th</sup> Street landing***

EDC will work with the Council Member to launch a pilot of weekday shuttle service providing a direct connection from Downtown Far Rockaway to the Beach 108<sup>th</sup> Street landing. This service will operate for three months and will be followed by an evaluation based on ridership and other planning factors.

**Timeline:** Fall 2017

**Budget:** \$80,000

***Advocate for improved MTA bus, subway, and LIRR service***

Building on the March 2017 extension of the Q52 to Beach 54th Street and the upcoming implementation of Select Bus Service on the Q52/Q53 routes this fall, DOT will continue to work with MTA to improve bus service to the Eastern Rockaways and Downtown Far Rockaway. Together with MTA, DOT is evaluating local bus service reliability improvements timed to the Q52/Q53 SBS implementation and considering key Southeast Queens corridors for future SBS upgrades as part of the forthcoming Citywide Transit Plan. The City is also



making efforts to improve the affordability of commuter rail service to city residents. Through its representatives on the MTA Board, the City will continue to advocate for lower Long Island Road fares for trips from the Far Rockaway Station to destinations within the five boroughs and for the expansion of City Ticket to Far Rockaway passengers. The City will also advocate alongside the Council Member for improvements to the Far Rockaway LIRR station, improved subway and bus service, and other service improvements in the area.

**Timeline:**

Q52/Q53 SBS launch – Fall 2017

Citywide Transit Plan with SBS route recommendations – Fall 2017

MTA advocacy on LIRR issues – Ongoing

***Monitor and, as needed, conduct follow-on traffic studies of the Downtown Far Rockaway area and its environs through the capital program.***

DOT completed a comprehensive traffic study of Downtown Far Rockaway in 2014. Under the current DOT capital effort, the traffic analysis was updated in 2016 in coordination with the schematic geometric design for the project. DOT will continue to update the analysis through the capital process to ensure we are accurately addressing current traffic conditions. DOT is willing to investigate specific intersections on a case-by-case basis while the capital project is moving through design.

**Timeline:** Fall 2017 - ongoing

## **COMMUNITY RESOURCES**

***Encourage healthcare uses in new developments on city-owned sites***

EDC and HPD are exploring the possibility of including healthcare uses in the Beach 21<sup>st</sup> Street development site, and will update the Council Member on this project in Fall 2017. Additionally, future HPD RFPs for city-owned sites will give preference to responses that include healthcare facilities.

**Timeline:** Fall 2017 - ongoing

***Expand daycare offerings in Downtown Far Rockaway***

HPD will encourage the inclusion of daycare providers in any RFPs for sites within the DFRURA as well as any developments receiving HPD subsidy. The City will monitor the demand and need for additional publicly funded day care services in the area and identify the appropriate measures to meet demand for additional slots. The City anticipates that additional procurement of center-based daycare seats may be necessary within the redevelopment area to mitigate increased need, and will continue to monitor enrollment and capacity within the rezoning area and address the need as it arises.

**Timeline:** Fall 2017 - ongoing

***Additional commitment of funding to support violence prevention, education, and community support***

Cure Violence is an evidence-based violence prevention program that works with communities that have high levels of gun violence. The City will commit to an additional \$250,000 of Cure Violence funding to support 'Rock Safe Streets', the Sheltering Arms gun violence interruption program in Far Rockaway. Rock Safe Streets works to identify potential incidents of violence and prevent them through mediation and de-escalation. In addition, Rock Safe Streets supports those most affected by violence with therapeutic mental health supportive services. The additional funding will allow Rock Safe Streets to hire a new Education/Employment Specialist, Community Coordinator and Administrative Assistant.

**Timeline:** Fall 2017

**Budget:** \$250,000



***Advance comprehensive renovation of the Downtown Far Rockaway library***

DDC will replace the existing 9,000-sf single-story Queens Public Library branch at the corner of Mott and Central Avenues with a new, two-story, 18,000 sf building designed by Snøhetta Architects. The new library will meet both the current needs of the community and future neighborhood growth, and will serve as an anchor for this key corner in Downtown Far Rockaway. The branch services will include programs for all ages, after-school study hours, story reading and community events.

**Timeline:** construction commencement in Fall 2018

**Budget:** \$30M

***Hold a site within the Urban Renewal Area for a potential elementary school***

While the Downtown Far Rockaway Rezoning would result in new development and demand for public schools, as demonstrated in the FEIS there is capacity in Sub-district 1 of CSD 27 to accommodate existing students as well as new enrollment projected to result from the rezoning. However, the City recognizes the Council Member's concerns about public school capacity, specifically elementary schools. We anticipate that the rezoning will increase the population of the neighborhood over time, and SCA and DOE will continue to monitor school enrollment and capacity in the future as development occurs and will address capacity issues as they arise. To this end, the City will reserve a site in the urban renewal area for a period of 10 years in order to be able to accommodate a new elementary school, to be utilized if SCA and DOE determines a need for one during that 10 year period.

**Timeline:** 2017 – 2027

***Invest in upgrades to existing schools***

The DOE/SCA is happy to work with the community as part of the Downtown Far Rockaway rezoning effort. DOE/SCA is currently advancing over \$130million in capital work to provide necessary improvements to the schools within the Council Member's district. In addition, DOE/SCA is accelerating projects currently in design so that students may benefit from the work on an accelerated timeline. DOE/SCA will continue working closely with the community and use the feedback received to ensure that future upgrades meet the needs of the schools and improve the state of facilities within the district. Additionally, the Administration will fund up to \$10million in other SCA School Improvements, to be selected in consultation with Council Member Richards prior to June 1, 2018.

**Timeline:** FY2019

**Budget:** \$10million in additional projects

***Explore new models at Downtown Far Rockaway Schools***

The Department of Education will meet with the Council Member to explore a Dual Language program for a school in Downtown Far Rockaway for the 2018-2019 school year. DOE will meet with the Council Member to also discuss the potential for new programming and other ways to increase enrollment in schools that are currently significantly under capacity. The Chancellor will also convene a Round Table with Principals to educate and encourage participation in new models and programs such as Dual Language Programs by Downtown Far Rockaway schools.

**Timeline:** Fall 2017

***Review five buildings for potential landmark eligibility***

As requested by the Council Member, the LPC will perform a review of five properties for their historical significance and potential landmark eligibility. The sites include 16-18 Central Avenue, 21-17 Mott Avenue, 19-31 Mott Avenue, 16-17 Central Avenue and 16-12 Mott Avenue.

**Timeline:** 2017 – 2018



***Study potential to establish a weekly farmers market in the Downtown area***

Building on the success of the nearby Rockaway Youth Task Force farm and the Edgemere Farm, the City will conduct outreach to better understand the feasibility and logistics of a market in Downtown Far Rockaway.

**Timeline:** Outreach to commence in Fall 2017

***Upgrades to 101 Police Precinct in the form of asbestos remediation, bathroom renovation, and locker room renovations***

In May 2017 the NYPD completed a bathroom renovation project at the 101 Precinct which also included renovation of locker rooms. There was asbestos remediation within the gym area completed approximately two years ago. Asbestos was abated and the remainder was encapsulated. NYPD has committed to abate the previously encapsulated remainder in the Fall of 2017. The abatement from contract to completion should take 4-6 weeks and will cost approximately \$25,000.

**Timeline:** Fall 2017

**Budget:** \$25,000

***ADA access ramp project at the 101 Police Precinct***

The City will perform upgrades for the 101<sup>st</sup> Precinct including an ADA access ramp project, estimated at \$300,000. Construction is anticipated start in the fall of 2018.

**Timeline:** Fall 2018

**Budget:** \$300,000

**OPEN SPACE**

***Build New Park at Block 15534, Lot 70***

In response to the strong advocacy of the Council Member as echoed by others in the community, the City will withdraw the ULURP application related to the disposition of this site for housing uses, and will instead dedicate significant capital funding and work through the Department of Parks and Recreation ("Parks") to transform the vacant lot at Block 15534, Lot 70 (corner of Augustina Avenue and Nameoke Avenue) into a new, 14,000-sf park to serve the Downtown Far Rockaway area. Parks will engage the community in a design process to determine the final programming of the space, which could include court amenities, play and/or water features, a comfort station, landscaping, seating, and/or other park amenities.

**Timeline:** Design to start in Summer 2019 and construction completion anticipated Winter 2022.

**Budget:** \$10.3million

***Advance the complete renovation of Bayswater Park***

At 26 acres, Bayswater Park is the largest community park serving Downtown Far Rockaway. It draws people from across the community together for active and passive recreation and it hosts festivals and events. The park will see a full scale renovation and NYC Parks will undertake outreach and hold a public scoping meeting to ask the community what they would like to see in this important neighborhood park. New amenities could include new or improved playing fields and playground, improved entrances and expanded shoreline access, and an enhanced area for performances and festivals.

**Timeline:** Design to start in Fall 2018 and construction completion anticipated Winter 2023

**Budget:** \$59.3million

***Implement Redfern Open Space improvements***

Redfern is an integral open space in the northern portion of the Downtown Far Rockaway area. Looking comprehensively at NYC Parks' Redfern Playground site and the adjacent NYCHA-owned playground, in close coordination with NYCHA and with community input, Parks will lead efforts to improve and enhance



recreational amenities, creating an attractive open space that serves the growing needs of current and future residents.

**Timeline:** Design to start in Summer 2018 and construction completion anticipated Fall 2021

**Budget:** \$9.3million

***Advance Bridge Creek clean-up efforts***

The Council Member has raised concerns about debris in the area of Bridge Creek, also known as the Seagirt Avenue Wetlands. Parks' Natural Resource Group recently visited the site to assess its condition. While there is indeed unsightly detritus and abandoned property in the area, the wetlands are high quality. Any effort to clean-up this area will be complicated by concerns re: disturbing the wetlands, determining private property issues, securing permits, and determining site access for any necessary equipment. Parks will work with DSNY to assess strategies, understand NYSDEC permitting requirements, and will report back to the Council Member by December 2017 with suggested course of action. DSNY will immediately clean the perimeter of the property, and the City will remove trash from this area by Spring 2018.

**Timeline:** 2017 - 2018

***Add mosquito mitigation in Dubos Point Park and Edgemere Park***

To address concerns regarding mosquitos at Dubos Point Park and Edgemere Park, the NYC Department of Health and Mental Hygiene will install five (5) additional "mosquito magnets" to those already in place at those locations .

**Timeline:** Fall 2017

**Budget:** \$4,000

**IMPLEMENTATION AND ONGOING ENGAGEMENT**

***Reserve \$91million in Capital Funding for implementation of the Downtown Far Rockaway Redevelopment Project***

As a demonstration of the Administration's commitment to realizing the goals of the *Downtown Far Rockaway Roadmap for Action* and the *Downtown Far Rockaway Redevelopment Project*, the City has pledged \$91million in Capital Funding for implementation. These funds are reserved to facilitate activation of key underutilized properties within the rezoning area. The City will provide annual updates to Council Member on the utilization of these pledged funds. If, through the course of implementation of the project or by June 2021, there is a surplus of funds remaining AND it is clear that such funds will not be needed and can be repurposed, the City will work in consultation with the Council Member to reprogram funds for other related projects in the area.

**Timeline:** 2017 - 2021

**Budget:** \$91million

***Quarterly meetings with steering committee***

EDC will commit to quarterly steering committee meetings, whose members will be selected by the Council Member, after the conclusion of ULURP. These meetings will be used to provide project updates and serve as a forum for the City to receive feedback from community stakeholders.

**Timeline:** Steering committee to be formed in coming months with first meeting in fall 2017

@gmail.com

@nyc.rr.com

1, Aug

462 Broadway

Mr Meringoff/Steve

Today, you have the opportunity to become the "good guy" that you have described yourself to be by halting your ambitious retail plans and becoming a recognizable "friend" to the residents of SoHo. Presenting yourself as a role model for other developers who have or are contemplating to act with disregard to the quality of life of residents who are the backbone of this thriving community.

Those empty stores in SoHo will get rented when building owners bring their rents to reasonable levels. You have the ability to rent your space. There are many who qualify to rent in this district. Be reasonable and fair and they will come knocking at your door.

Thank you  
Ronnie Wolf

*Actual, you will be among the very few Broadway Owners who can legally offer retail + that person is enough to accept the restrictions.*





Ruben Diaz, Jr.  
Borough President

## **BRONX COMMUNITY BOARD No. 10**

3165 East Tremont Avenue • Bronx, New York 10461

Tel: (718) 892-1161 • Fax: (718) 863-6860

E-mail: [bx10@cb.nyc.gov](mailto:bx10@cb.nyc.gov)

Facebook.com/BronxCommunityBoard10

Website: [www.nyc.gov/bronxcb10](http://www.nyc.gov/bronxcb10)



Peter J. Sullivan  
Chairperson

Matthew Cruz  
District Manager

August 18, 2017

Donovan Richards, Chairperson  
Subcommittee on Zoning and Franchises  
250 Broadway, 16<sup>th</sup> Floor  
New York, NY 10007

### **RE: Application 20175396 TCX**

Dear Chairperson Richards and Members of the Subcommittee on Zoning and Franchises:

My name is Matthew Cruz and I am the District Manager of Bronx Community Board #10. I am here before you today to voice my community district's concerns and opposition to Made In Puerto Rico (or MIPR Inc.). Made In Puerto Rico is a food and drinking establishment located at 3363 East Tremont Avenue, Bronx, NY 10461 in my community district. Made In Puerto Rico is seeking to operate an unenclosed sidewalk café under Application No. 20175396 TCX.

Since 2015, the New York State Liquor Authority (SLA) cited Made In Puerto Rico for operating a disorderly premises, for failure to conform with its licensing application on several occasions, for failure to comply with noise ordinances and for failure to supervise its staff on two separate occasions which the SLA states is given to establishments when it observes that prior infractions have gone unaddressed.

In addition, the SLA cited Made In Puerto Rico for a sale to a minor on April 6, 2017 which resulted in the SLA canceling the establishment's license and an order to the owner to surrender her license. To date, Made In Puerto Rico has paid nearly twenty thousand dollars in civil penalties and has been a subject of discussion at Bronx Community Board #10.

On May 22, 2017, the SLA disapproved the transfer of the application from a previous owner to the new owner due to the pending charges aforementioned. Simply put, the extension of this establishment onto the sidewalk will do much to harm the quality-of-life our residents enjoy as Made In Puerto Rico has only shown that it cannot supervise its staff, fully conform to its liquor license application, adhere to the City of New York's noise regulations and is liable to sell alcohol to minors. To be sure, the approval of an unenclosed sidewalk café to an establishment that has been cited by the SLA for failure to post warning signage such as the ill effects of consuming alcoholic beverages during pregnancy runs contrary to the City of New York's Department of Health and Mental Hygiene's educational campaigns.

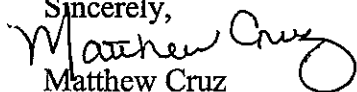
Lastly, Bronx Community Board #10 voted to deny Made In Puerto Rico's license application on November 19, 2015. The Board voted to deny the application for an unenclosed sidewalk café on May 26, 2017. In addition, on June 27, 2017 I wrote a letter to the SLA clarifying that the Board objects to Made In Puerto Rico's method of operation and referred to the denial of its application on November 19, 2015.

Page -2-

MIPR Application 20175396 TCX

Please find in this testimony a history of Made In Puerto Rico's New York State Liquor Authority infractions that were requested via the Freedom of Information Law on July 6, 2017. In addition, please find all correspondences written to the City of New York and State of New York since 2015. Thank you for your attention to this matter.

Sincerely,

A handwritten signature in black ink that reads "Matthew Cruz". The signature is written in a cursive style with a large, looping "C" at the end.

Matthew Cruz

District Manager

Bronx Community Board #10

CC: James Vacca, New York City Council Member



STATE OF NEW YORK  
DIVISION OF ALCOHOLIC BEVERAGE CONTROL

80 South Swan Street, Suite 900  
Albany, NY 12210-8002

317 Lenox Avenue  
New York, NY 10027

535 Washington Street, Suite 303  
Buffalo, NY 14203

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IN THE MATTER OF PROCEEDINGS TO CANCEL OR REVOKE

NOTICE OF PLEADING

1268116, BRONX OP 1268116

2550-2016/Case No. 109742

THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX, NY 10461

PLEASE TAKE NOTICE, that pursuant to Section 118 of the Alcoholic Beverage Control Law you are required to answer by mail as provided below, or in person with proper photo ID, at the office of the Division of Alcoholic Beverage Control, Harlem Center, 317 Lenox Avenue, 4th Floor, (between 125th & 126th Streets), New York, New York 10027, on 12/28/2016, at 11:00 AM, in connection with proceedings to cancel or revoke the above-referenced license, and to plead to the following charge(s):

1. That on December 5, 2015, the licensee in violation of subdivision 2 of Section 105-b of the Alcoholic Beverage Control Law failed to display in a conspicuous place on the licensed premises the warning sign regarding the consumption of alcoholic beverages during pregnancy, as described in subdivision 1 of this section.
2. That on December 5, 2015, the licensee violated rule 54.3 of the Rules of the Authority [9 NYCRR 48.3] in that the licensee did not conform with governmental regulations regarding employment of security guards; all cause to warrant revocation, cancellation or suspension of the license in accordance with rule 36.1(f) of the Rules of the Authority [9 NYCRR 53.1(f)].
3. That on December 5, 2015, the licensee failed to comply with all applicable health, safety and governmental regulations; all cause for revocation, cancellation or suspension of the license in accordance with rule 36.1(f) of the Rules of the State Liquor Authority [9 NYCRR 53.1(f)].
4. That on or before December 5, 2015, the licensee failed to conform with all representations set forth in the application, or approved amendments thereto, for the on-premises license under which such license was applied for and issued; all cause for revocation, cancellation or suspension of the license in accordance with Rule 54.8 of the Rules of the State Liquor Authority [9 NYCRR 48.8].

PLEASE TAKE NOTICE THAT YOUR FAILURE TO PLEAD WILL BE DEEMED A "NO CONTEST" PLEA AND NO FURTHER HEARING WILL BE HELD.

PLEASE TAKE FURTHER NOTICE that you may be represented by counsel.

PLEASE TAKE FURTHER NOTICE that you may plead to the charge(s) by mail instead of by personal appearance provided that a letter signed by you or your attorney, setting forth your plea of "Not Guilty" or "No Contest" is received by the Office of Counsel of the Division of Alcoholic Beverage Control at the above New York City address on or before the pleading date specified above.

PLEASE TAKE FURTHER NOTICE that the maximum penalty may be a revocation and forfeiture of the Bond filed by you, and or a civil penalty. In addition, if the Authority revokes the license, the Authority may proscribe the issuance of a license at the premises for a period of two years from the date of revocation of the license.

PLEASE TAKE FURTHER NOTICE: If you plead not guilty to the charge(s), a hearing will thereafter be scheduled at which you may appear with counsel, produce witnesses, and introduce evidence in your behalf.

PURSUANT TO SECTION 301 of the State Administrative Procedure Act and Executive Order Number 26, interpreter services shall be made available to licensees, at no charge, by the Authority.

Date: 12/06/2016

Licensee's name and residence address  
ACEVEDO, JACQUELINE  
637 PENN AVE, TEANECK, NJ 07666

DIVISION OF ALCOHOLIC BEVERAGE CONTROL

Licensee's Landlord  
MONTEMURRO ENTERPRISES LLC  
548 THROGGS NECK EXP, BRONX, NY 10465

Office of Counsel  
by: Robert Buckley  
317 Lenox Avenue, 4th Floor  
New York, New York 10027

Notice to Landlord: As stated above, in the event the disposition of this case results in a Revocation of the license, the Authority may impose, as part of the penalty,

Tel: (212) 961-8343  
Fax: (212) 961-8316

**STATE OF NEW YORK  
DIVISION OF ALCOHOLIC BEVERAGE CONTROL**

80 South Swan Street, Suite 900  
Albany, NY 12210-8002

317 Lenox Avenue  
New York, NY 10027

535 Washington Street, Suite 303  
Buffalo, NY 14203

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a two year prohibition against the issuance of any alcoholic  
beverage license at these premises.

Certified Mail # 7015 1660 0001 1925 1373



NEW YORK STATE LIQUOR AUTHORITY  
FULL BOARD AGENDA  
MEETING OF 04/26/2017

2017-00852

REASON FOR REFERRAL  
COND NO CONTEST

1268116, BRONX OP 1268116  
THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX NY 10461

DO#2550-2016/Case # 109742

1. FAILURE TO POST WARNING SIGNS - PREGNANCY ON 12/05/15
2. FAILURE TO COMPLY - UNLICENSED SECURITY GUARD(S) ON 12/05/15
3. FAILURE TO COMPLY - HEALTH REGULATIONS ON 12/05/15
4. FAILURE TO CONFORM TO APPLICATION ON 12/05/15

MP: REVOCATION [BOND NOT AVAILABLE]

OFFER: \$2,500 CIVIL PENALTY

LICENSE ISSUED: 03/01/2013  
LICENSE EXPIRES: 02/28/2017

ADVERSE HISTORY:

1. FAILURE TO CONFORM TO APPLICATION ON 2/1/16, FAILURE TO COMPLY - LOCAL REGULATIONS (2), DISORDERLY PREMISES - GENERAL ON 9/25/15, FAILURE TO SUPERVISE ON 2/8/15, 2/1/16, FB ON 5/10/16 IMPOSED \$8,000 CIVIL PENALTY (PAID)
2. FAILURE TO CONFORM TO APPLICATION, PRE-MIXING, FAILURE TO COMPLY - NOISE, NOISE/NUISANCE (RULE) ON 4/2/16, FB ON 8/16/16 IMPOSED \$10,000 CIVIL PENALTY (PD)
3. FAILURE TO CONFORM TO APPLICATION ON 8/28/16, FB ON 4/12/17 IMPOSED CANCELLATION [NOT YET IMPOSED] AND BOND CLAIM [NOT YET IMPOSED]

The Members of the Authority at their meeting held at the Zone I New York Office on 04/26/2017 determined:

CNC DENIED

Voting was as follows:

1. COMMISSIONER GREELEY T. FORD Voted: YES
2. CHAIRMAN VINCENT G. BRADLEY Voted: YES

Counsel's office authorized to accept counter offer of license Cancellation.

DIVISION OF ALCOHOLIC BEVERAGE CONTROL  
NEW YORK STATE LIQUOR AUTHORITY  
OFFICE OF COUNSEL  
80 SOUTH SWAN STREET, SUITE 900  
ALBANY, NY 12210-8002

(518) 474-3114 (OPTION 4-2-1)  
Fax (518) 402-7642

05/05/2017

THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX, NY 10461

Re: 1268116, BRONX OP 1268116  
Docket no.: 2550-2016 / Case no.: 109742

Dear Licensee:

The Division of Alcoholic Beverage Control has denied the Conditional No Contest plea of the above-referenced licensee for charges contained in the Notice of Pleading dated December 6, 2016, and has made a counter-offer of license Cancellation.

Please advise the Office of Counsel in writing within 20 days of the date of this letter, as to whether the licensee intends to accept the counter-offer. A hearing will be scheduled after this date if you have not responded to, or declined, the counter-offer.

If payment is requested, all payments of civil monetary penalties and bond claims must be made by OFFICIAL BANK CHECK or MONEY ORDER payable to the State Liquor Authority. Please send payment for this counteroffer to the New York State Liquor Authority - Secretary's Office, 80 South Swan Street, Suite 900, Albany, New York 12210-8002. The license serial number and licensee name should be indicated on the certified check or money order.

Sincerely,

Buckley, Robert

cc: file  
ARELIA TAVERAS  
NY BUSINESS LICENSING GROUP  
38-10 99TH STREET - SUITE 101  
CORONA NY 11368



STATE OF NEW YORK  
DIVISION OF ALCOHOLIC BEVERAGE CONTROL

80 South Swan Street, Suite 900  
Albany, NY 12210-8002

317 Lenox Avenue  
New York, NY 10027

535 Washington Street, Suite 303  
Buffalo, NY 14203

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IN THE MATTER OF PROCEEDINGS TO CANCEL OR REVOKE

NOTICE OF PLEADING

1268116, BRONX OP 1268116

218-2016/Case No. 110223

THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX, NY 10461

PLEASE TAKE NOTICE, that pursuant to Section 118 of the Alcoholic Beverage Control Law you are required to answer by mail as provided below, or in person with proper photo ID, at the office of the Division of Alcoholic Beverage Control, Harlem Center, 317 Lenox Avenue, 4th Floor, (between 125th & 126th Streets), New York, New York 10027, on 02/24/2016, at 11:00 AM, in connection with proceedings to cancel or revoke the above-referenced license, and to plead to the following charge(s):

1. That on or before 2/1/16, the licensee failed to conform with all representations set forth in the application, or approved amendments thereto, for the on-premises license under which such license was applied for and issued; all cause for revocation, cancellation or suspension of the license in accordance with Rule 54.8 of the Rules of the State Liquor Authority [9 NYCRR 48.8].
2. That on 12/20/15, the licensee violated rule 54.3 of the Rules of the State Liquor Authority [9 NYCRR 48.3], in that it did not conform with all applicable building codes, and/or fire, health, safety and governmental regulations; no proprietary guard license, no security guard records, all cause for revocation, cancellation or suspension of the license in accordance with rule 36.1(f) of the Rules of the State Liquor Authority [9 NYCRR 53.1(f)].
3. That on 12/20/15, the licensee violated rule 54.3 of the Rules of the State Liquor Authority [9 NYCRR 48.3], in that it did not conform with all applicable building codes, and/or fire, health, safety and governmental regulations; no Public Assembly Permit, all cause for revocation, cancellation or suspension of the license in accordance with rule 36.1(f) of the Rules of the State Liquor Authority [9 NYCRR 53.1(f)].
4. That on 9/25/15, the licensee suffered or permitted the licensed premises to become disorderly in violation of subdivision 6 of section 106 of the Alcoholic Beverage Control Law.
5. That on and before 2/8/15 the licensee, through the actions of its principal and its agents and employees, has violated rule 54.2 of the Rules of the State Liquor Authority [9 NYCRR 48.2] in that the licensee has failed to exercise adequate supervision over the conduct of the licensed business; all cause for revocation, cancellation or suspension of the license in accordance with rule 36.1(f) of the Rules of the State Liquor Authority [9 NYCRR 53.1(f)].
6. That on and before 2/1/16, the licensee, through the actions of its principal and its agents and employees, has violated rule 54.2 of the Rules of the State Liquor Authority [9 NYCRR 48.2] in that the licensee has failed to exercise adequate supervision over the conduct of the licensed business; all cause for revocation, cancellation or suspension of the license in accordance with rule 36.1(f) of the Rules of the State Liquor Authority [9 NYCRR 53.1(f)].

PLEASE TAKE NOTICE THAT YOUR FAILURE TO PLEAD WILL BE DEEMED A "NO CONTEST" PLEA AND NO FURTHER HEARING WILL BE HELD.

PLEASE TAKE FURTHER NOTICE that you may be represented by counsel.

PLEASE TAKE FURTHER NOTICE that you may plead to the charge(s) by mail instead of by personal appearance provided that a letter signed by you or your attorney, setting forth your plea of "Not Guilty" or "No Contest" is received by the Office of Counsel of the Division of Alcoholic Beverage Control at the above New York City address on or before the pleading date specified above.

PLEASE TAKE FURTHER NOTICE that the maximum penalty may be a revocation and forfeiture of the Bond filed by you, and or a civil penalty. In addition, if the Authority revokes the license, the Authority may proscribe the issuance of a license at the premises for a period of two years from the date of revocation of the license.

PLEASE TAKE FURTHER NOTICE: If you plead not guilty to the charge(s), a hearing will thereafter be scheduled at which you may appear with counsel, produce witnesses, and introduce evidence in your behalf.

PURSUANT TO SECTION 301 of the State Administrative Procedure Act and Executive Order Number 26, interpreter services shall be made available to licensees, at no charge, by the Authority.

Date: 02/02/2016

Licensee's name and residence address  
ACEVEDO, JACQUELINE

DIVISION OF ALCOHOLIC BEVERAGE CONTROL

**STATE OF NEW YORK  
DIVISION OF ALCOHOLIC BEVERAGE CONTROL**

80 South Swan Street, Suite 900  
Albany, NY 12210-8002

317 Lenox Avenue  
New York, NY 10027

535 Washington Street, Suite 303  
Buffalo, NY 14203

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637 PENN AVE, TEANECK, NJ 07666

Licensee's Landlord  
MONTEMURRO ENTERPRISES LLC  
548 THROGGS NECK EXP, BRONX, NY 10465

Office of Counsel  
by: Margarita Marsico  
317 Lenox Avenue, 4th Floor  
New York, New York 10027

Notice to Landlord: As stated above, in the event the disposition of this case results in a Revocation of the license, the Authority may impose, as part of the penalty, a two year prohibition against the issuance of any alcoholic beverage license at these premises.

Tel: (212) 961-8318  
Fax: (212) 961-8316

Certified Mail #7014 2120 0000 8062 1538



NEW YORK STATE LIQUOR AUTHORITY  
FULL BOARD AGENDA  
MEETING OF 05/10/2016

2016-01061 (OVER)  
2016-01230

REASON FOR REFERRAL  
COND NO CONTEST

1268116, BRONX OP 1268116  
THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX NY 10461

DO#218-2016/Case # 110223

1. FAILURE TO CONFORM TO APPLICATION ON 02/01/16
2. FAILURE TO COMPLY - LOCAL REGULATIONS ON 12/20/15
3. FAILURE TO COMPLY - LOCAL REGULATIONS ON 12/20/15
4. DISORDERLY PREMISES - GENERAL ON 09/25/15
5. FAILURE TO SUPERVISE ON 02/08/15
6. FAILURE TO SUPERVISE ON 02/01/16

MP: REVOCATION PLUS BOND CLAIM

OFFER: \$5,000 CIVIL PENALTY

LICENSE ISSUED: 03/01/2013  
LICENSE EXPIRES: 02/28/2017

ADVERSE HISTORY: NONE

NOTE:

1. ENDORSEMENT [FILED 6/2/15] TO ADD DBA: MADE IN PUERTO RICO LATIN CUISINE AND SPORTS BAR APPROVED 6/12/15

The Members of the Authority at their meeting held at the Zone I New York City office on 05/10/2016 determined:

Item carried over to 6/01/2016 for licensee to appear

The Members of the Authority at their meeting held at the Zone I New York Office on 06/01/2016 determined:

Stacy Weiss, Esq. and Jacqueline Acevedo, appeared.

CNC DENIED

Voting was as follows:

1. CHAIRMAN VINCENT G. BRADLEY Voted: YES
2. COMMISSIONER KEVIN KIM Voted: YES

Counsel is authorized to accept \$8,000 civil penalty.

NEW YORK STATE LIQUOR AUTHORITY  
FULL BOARD DISPOSITION  
MEETING OF 06/01/2016

07/07/2016

THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX NY 10461

Re: 1268116, BRONX OP 1268116  
DO # 218-2016/Case # 110223  
AGENDA ITEM NO. 2016-01230

Dear Licensee:

The Members of the Authority on 06/01/2016 determined as follows with regard to the above captioned matter:

CNC DENIED, COUNTER OFFER ACCEPTED BY LETTER DATED JULY 1, 2016

Penalty is the following:

Civil Penalty: \$8000.00

Penalty Due by: 08/05/2016

If the above penalty is not complied with by 08/05/2016 the following will be imposed:

Bond Claim: \$1000.00

Cancellation

**NOTE:** A civil penalty must be paid in full, no installments, by **OFFICIAL BANK CHECK OR MONEY ORDER** payable to the *State Liquor Authority*. Mail payments to the **New York State Liquor Authority, Secretary's Office, 80 South Swan Street, Suite 900, Albany, New York 12210-8002**, by the above due date. To insure proper credit, please list your license serial number and name on the check.

If the Authority has to impose a Bond Claim, a demand for the bond claim will be made to your bonding company, who will then seek repayment from you and additional expenses may be incurred in connection with the restoration of the bond. You will be required to restore your bond, pursuant to Rule 9.7(b) of the Rules of the State Liquor Authority [9 NYCRR 81.7(b)], which has been forfeited by reason of this penalty, within 10 days. A restoration of the bond will be required to continue in business and avoid further disciplinary proceedings.

JACQUELINE HELD  
NEW YORK STATE LIQUOR AUTHORITY  
SECRETARY'S OFFICE  
80 South Swan Street, Suite 900  
Albany, NY 12210  
[518] 474-3114  
Secretarys.Office@sla.ny.gov

cc: file  
STACY L. WEISS  
THE LAW OFFICES O STACY L. WEISS, PLLC  
110 EAST 59TH STREET 23RF FLOOR  
NEW YORK NY 10022



STATE OF NEW YORK  
DIVISION OF ALCOHOLIC BEVERAGE CONTROL

80 South Swan Street, Suite 900  
Albany, NY 12210-8002

317 Lenox Avenue  
New York, NY 10027

535 Washington Street, Suite 303  
Buffalo, NY 14203

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IN THE MATTER OF PROCEEDINGS TO CANCEL OR REVOKE

NOTICE OF PLEADING

1268116, BRONX OP 1268116

1170-2016/Case No. 111759

THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX, NY 10461

PLEASE TAKE NOTICE, that pursuant to Section 118 of the Alcoholic Beverage Control Law you are required to answer by mail as provided below, or in person with proper photo ID, at the office of the Division of Alcoholic Beverage Control, Harlem Center, 317 Lenox Avenue, 4th Floor, (between 125th & 126th Streets), New York, New York 10027, on **06/15/2016, at 11:00 AM**, in connection with proceedings to cancel or revoke the above-referenced license, and to plead to the following charge(s):

1. That on or before 4/2/16, the licensee failed to conform with all representations set forth in the application, or approved amendments thereto, for the on-premises license under which such license was applied for and issued; licensee used a DJ, permitted dancing, all cause for revocation, cancellation or suspension of the license in accordance with Rule 54.8 of the Rules of the State Liquor Authority [9 NYCRR 48.8].
2. That on 4/2/16, in violation of subdivision 2 of section 106 of the Alcoholic Beverage Control Law, the licensee kept liquors and/or wines upon the licensed premises in any container other than the original sealed package as received from the manufacturer or wholesaler, to wit:
3. That on 04/02/16, the licensee violated rule 54.3 of the Rules of the Authority [9 NYCRR 48.3] in that the licensee did not conform with local governmental regulations regarding noise since an unreasonable amount of noise was found to emanate from the licensed premises; all cause to warrant revocation, cancellation or suspension of the license in accordance with rule 36.1(f) of the Rules of the Authority [9 NYCRR 53.1(f)].
4. That on 04/02/16, the occurrence of noise, disturbance, misconduct or disorder in the licensed premises, in front of or adjacent to the licensed premises, or in the parking lot of the licensed premises adversely affects or tends to affect the protection, health, welfare, safety or repose of the inhabitants of the area in which the licensed premises are located; all cause for revocation, cancellation or suspension of the license in accordance with rule 36.1(q) of the Rules of the State Liquor Authority [9 NYCRR 53.1(q)].

PLEASE TAKE NOTICE THAT YOUR FAILURE TO PLEAD WILL BE DEEMED A "NO CONTEST" PLEA AND NO FURTHER HEARING WILL BE HELD.

PLEASE TAKE FURTHER NOTICE that you may be represented by counsel.

PLEASE TAKE FURTHER NOTICE that you may plead to the charge(s) by mail instead of by personal appearance provided that a letter signed by you or your attorney, setting forth your plea of "Not Guilty" or "No Contest" is received by the Office of Counsel of the Division of Alcoholic Beverage Control at the above New York City address on or before the pleading date specified above.

PLEASE TAKE FURTHER NOTICE that the maximum penalty may be a revocation and forfeiture of the Bond filed by you, and or a civil penalty. In addition, if the Authority revokes the license, the Authority may proscribe the issuance of a license at the premises for a period of two years from the date of revocation of the license.

PLEASE TAKE FURTHER NOTICE: If you plead not guilty to the charge(s), a hearing will thereafter be scheduled at which you may appear with counsel, produce witnesses, and introduce evidence in your behalf.

PURSUANT TO SECTION 301 of the State Administrative Procedure Act and Executive Order Number 26, interpreter services shall be made available to licensees, at no charge, by the Authority.

Date: 05/24/2016

Licensee's name and residence address  
ACEVEDO, JACQUELINE  
637 PENN AVE, TEANECK, NJ 07666

DIVISION OF ALCOHOLIC BEVERAGE CONTROL

Licensee's Landlord  
MONTEMURRO ENTERPRISES LLC  
548 THROGGS NECK EXP, BRONX, NY 10465

Office of Counsel  
by: Margarita Marsico  
317 Lenox Avenue, 4th Floor  
New York, New York 10027

**STATE OF NEW YORK  
DIVISION OF ALCOHOLIC BEVERAGE CONTROL**

80 South Swan Street, Suite 900  
Albany, NY 12210-8002

317 Lenox Avenue  
New York, NY 10027

535 Washington Street, Suite 303  
Buffalo, NY 14203

\*\*\*\*\*

Notice to Landlord: As stated above, in the event the disposition of this case results in a Revocation of the license, the Authority may impose, as part of the penalty, a two year prohibition against the issuance of any alcoholic beverage license at these premises.

Tel: (212) 961-8318  
Fax: (212) 961-8316

Certified Mail # 7015 0640 0002 9340 0535



NEW YORK STATE LIQUOR AUTHORITY  
FULL BOARD AGENDA  
MEETING OF 08/16/2016

2016-01742

REASON FOR REFERRAL  
NO CONTEST

1268116, BRONX OP 1268116  
THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX NY 10461

DO#1170-2016/Case # 111759

1. FAILURE TO CONFORM TO APPLICATION ON 04/02/16
2. PRE-MIXING ON 04/02/16
3. FAILURE TO COMPLY - NOISE ON 04/02/16
4. NOISE/NUISANCE (RULE) ON 04/02/16

MP: REVOCATION PLUS BOND CLAIM

LICENSE ISSUED: 3/01/2013  
LICENSE EXPIRES: 2/28/2017

ADVERSE HISTORY:

1. DISORDERLY PREMISES - GENERAL ON 9/25/15 AND FAILURE TO COMPLY - LOCAL REGULATIONS ON 12/20/15; FAILURE TO CONFORM TO APPLICATION [UNAUTHORIZED DJ & SECURITY GUARD(S)] & FAILURE TO SUPERVISE ON 2/1/16, FAILURE TO SUPERVISE ON 2/8/16, FB ON 6/1/16 IMPOSED \$8,000 CIVIL PENALTY (PAID)

NOTE:

1. ENDORSEMENT [FILED 7/26/16] TO CHANGE METHOD OF OPERATION BY ADDING A DJ PENDING

The Members of the Authority at their meeting held at the Zone I New York Office on 08/16/2016 determined:

Areliia Taveras, Representative and Jaqueline Acevedo appeared.

CHARGES SUSTAINED

Voting was as follows:

1. CHAIRMAN VINCENT G. BRADLEY Voted: NO  
Noted: Voting for civil penalty of \$20,000
2. COMMISSIONER KEVIN KIM Voted: YES
3. COMMISSIONER GREELEY T. FORD Voted: YES

Penalty:

Civil Penalty: \$10000.00

If not paid within 20 days then the penalty will be:

Bond Claim: \$1000.00

## Revocation

Revocation is the process of withdrawing a previously issued license or permit. It is a legal action that can be taken by a government agency or a court of law.

There are several reasons why a license or permit may be revoked, including:

- Failure to comply with the terms and conditions of the license or permit.
- Providing false information during the application process.
- Engaging in illegal or unethical activities.
- Being found guilty of a crime related to the license or permit.

Revocation is a serious consequence and can have significant financial and legal implications for the licensee. It is important to understand the terms and conditions of any license or permit and to comply with all applicable laws and regulations.

If you are a licensee and are facing a potential revocation, it is important to seek legal advice immediately.

For more information on revocation, please contact your local government agency or a legal professional.

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NEW YORK STATE LIQUOR AUTHORITY  
FULL BOARD DISPOSITION  
MEETING OF 08/16/2016

08/22/2016

THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX NY 10461

Re: 1268116, BRONX OP 1268116  
DO # 1170-2016/Case # 111759  
AGENDA ITEM NO. 2016-01742

Dear Licensee:

The Members of the Authority on 08/16/2016 determined as follows with regard to the above captioned matter:

**CHARGES SUSTAINED**

Penalty is the following:

Civil Penalty: \$10000.00

Penalty Due by: 09/29/2016

If the above penalty is not complied with by 09/29/2016 the following will be imposed:

Bond Claim: \$1000.00

Revocation

**NOTE:** A civil penalty must be paid in full, no installments, by **OFFICIAL BANK CHECK OR MONEY ORDER** payable to the *State Liquor Authority*. Mail payments to the **New York State Liquor Authority, Secretary's Office, 80 South Swan Street, Suite 900, Albany, New York 12210-8002**, by the above due date. To insure proper credit, please list your license serial number and name on the check.

If the Authority has to impose a Bond Claim, a demand for the bond claim will be made to your bonding company, who will then seek repayment from you and additional expenses may be incurred in connection with the restoration of the bond. You will be required to restore your bond, pursuant to Rule 9.7(b) of the Rules of the State Liquor Authority [9 NYCRR 81.7(b)], which has been forfeited by reason of this penalty, within 10 days. A restoration of the bond will be required to continue in business and avoid further disciplinary proceedings.

JACQUELINE HELD  
NEW YORK STATE LIQUOR AUTHORITY  
SECRETARY'S OFFICE  
80 South Swan Street, Suite 900  
Albany, NY 12210  
[518] 474-3114  
Secretarys.Office@sla.ny.gov

cc: file  
ARELIA TAVERAS  
NY BUSINESS LICENSING GROUP  
38-10 99TH STREET SUITE 101  
CORONA NY 11368



STATE OF NEW YORK  
DIVISION OF ALCOHOLIC BEVERAGE CONTROL

80 South Swan Street, Suite 900  
Albany, NY 12210-8002

317 Lenox Avenue  
New York, NY 10027

535 Washington Street, Suite 303  
Buffalo, NY 14203

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IN THE MATTER OF PROCEEDINGS TO CANCEL OR REVOKE

NOTICE OF PLEADING

1268116, BRONX OP 1268116

1933-2016/Case No. 114159

THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX, NY 10461

PLEASE TAKE NOTICE, that pursuant to Section 118 of the Alcoholic Beverage Control Law you are required to answer by mail as provided below, or in person with proper photo ID, at the office of the Division of Alcoholic Beverage Control, Harlem Center, 317 Lenox Avenue, 4th Floor, (between 125th & 126th Streets), New York, New York 10027, on **10/12/2016**, at 11:00 AM, in connection with proceedings to cancel or revoke the above-referenced license, and to plead to the following charge(s):

1. That on or before August 28, 2016, the licensee failed to conform with all representations set forth in the application, or approved amendments thereto, for the on-premises license under which such license was applied for and issued; all cause for revocation, cancellation or suspension of the license in accordance with Rule 54.8 of the Rules of the State Liquor Authority [9 NYCRR 48.8].

PLEASE TAKE NOTICE THAT YOUR FAILURE TO PLEAD WILL BE DEEMED A "NO CONTEST" PLEA AND NO FURTHER HEARING WILL BE HELD.

PLEASE TAKE FURTHER NOTICE that you may be represented by counsel.

PLEASE TAKE FURTHER NOTICE that you may plead to the charge(s) by mail instead of by personal appearance provided that a letter signed by you or your attorney, setting forth your plea of "Not Guilty" or "No Contest" is received by the Office of Counsel of the Division of Alcoholic Beverage Control at the above New York City address on or before the pleading date specified above.

PLEASE TAKE FURTHER NOTICE that the maximum penalty may be a revocation and forfeiture of the Bond filed by you, and or a civil penalty. In addition, if the Authority revokes the license, the Authority may proscribe the issuance of a license at the premises for a period of two years from the date of revocation of the license.

PLEASE TAKE FURTHER NOTICE: If you plead not guilty to the charge(s), a hearing will thereafter be scheduled at which you may appear with counsel, produce witnesses, and introduce evidence in your behalf.

PURSUANT TO SECTION 301 of the State Administrative Procedure Act and Executive Order Number 26, interpreter services shall be made available to licensees, at no charge, by the Authority.

Date: 09/15/2016

Licensee's name and residence address  
ACEVEDO, JACQUELINE  
637 PENN AVE, TEANECK, NJ 07666

DIVISION OF ALCOHOLIC BEVERAGE CONTROL

Licensee's Landlord  
MONTEMURRO ENTERPRISES LLC  
548 THROGGS NECK EXP, BRONX, NY 10465

Office of Counsel  
by: Robert Buckley  
317 Lenox Avenue, 4th Floor  
New York, New York 10027

Notice to Landlord: As stated above, in the event the disposition of this case results in a Revocation of the license, the Authority may impose, as part of the penalty, a two year prohibition against the issuance of any alcoholic beverage license at these premises.

Tel: (212) 961-8343  
Fax: (212) 961-8316

Certified Mail #7015 1520 0003 1634 6035

NEW YORK STATE LIQUOR AUTHORITY  
Hearing Bureau  
317 Lenox Avenue  
New York, New York 10027

-----X  
IN THE MATTER OF PROCEEDINGS TO CANCEL OR REVOKE

Serial Number: 1268116 Bronx OP 1268116  
Docket No(s): 1933-2016  
Case No(s): 114159  
Licensee: Thirty 3 Sixty 3 LLC  
3363 Tremont Avenue  
Bronx, NY 10461  
Licensed Premises: Made in Puerto Rico Latin Cuisine & Sports Bar  
3363 Tremont Avenue  
Bronx, NY 10461  
Principal: Jacqueline Acevedo Villanueva  
637 Penn Avenue  
Teaneck, NJ 07666

-----X  
Hearing Officer: Nicholas DeCesare, Administrative Law Judge  
Hearing Date(s): January 13, 2017  
Hearing Location: Hearing Bureau, 317 Lenox Avenue, New York, NY  
10027  
Notice of Pleading(s): September 15, 2016  
Attorney for Authority: Robert Buckley, Esq.  
Attorney for Licensee: None  
Licensee's Representative: Aurelia Taveras  
NY Business Licensing  
38-10 99 Street  
Corona, NY 11368  
Licensee Pro Se: No

Thirty 3 Sixty 3 LLC /Made in Puerto Rico  
1268116 Bronx OP 1268116  
Docket No. 1933-2016 / Case No. 114159

Witness(es) for Authority: Matthew Davis, Investigator (Davis)  
Witness(es) for Licensee: Jacqueline Acevedo Villanueva, Principal of Licensee (JAV)  
Licensee Present: Yes  
Other Persons Present: None  
Authority's Exhibits: 1 - Notice of Pleading  
2 - Bill of Particulars  
3 - Investigator Report  
4 - Examiner Checklist & Digest  
5 - Method of Operation  
Licensee's Exhibits: None  
Hearing Recorded: Digitally

### **CHARGE(S)**

Docket No. 1933-2016 / Case No. 114159

1. That, on and before August 28, 2016, the licensee failed to conform with all representations set forth in the application, or approved amendments thereto, for the on-premises license under which such license was applied for and issued; all cause for revocation, cancellation or suspension of the license in accordance with Rule 54.8 of the Rules of the State Liquor Authority [ 9 NYCRR 48.8 ].

BASED UPON the testimony and record in this case, the Administrative Law Judge makes the following findings of fact and opinion.

### **FINDINGS OF FACT**

**Case No. 114159**

**Charge 1**

#### **Authority's Case**

**Authority witness Davis** visited the Licensed Premises at or about 2:00 A.M. on August 28, 2016 at the direction of the Authority's General Counsel to investigate the Licensee's compliance with its filed Method of Operation. (See State Exhibit 5.)



Thirty 3 Sixty 3 LLC /Made in Puerto Rico  
1268116 Bronx OP 1268116  
Docket No. 1933-2016 / Case No. 114159

Davis stated that his particular focus was whether the Licensee had a DJ and/or permitted dancing on the Licensed Premises. He had made a prior visit on April 3, 2016 when the Licensee was found to have a DJ and dancing contrary to its filed Method of Operation. At that time, Davis advised the Licensee to stop using a DJ and allowing dancing.

On his August 28, 2016 visit, Davis parked about one (1) block away from the Licensed Premises and could hear music coming from it. He described the area as residential. When he entered the Licensed Premises, Davis observed eighty (80) to one hundred (100) patrons, forty (40) of whom were dancing (singles and couples) to music coming from what appeared to be a DJ and DJ booth area as well as a digital screen. (See State Exhibit 3.)

Davis stayed for fifteen (15) minutes and then left the Licensed Premises. He noted that the filed Method of Operation described the Licensed Premises as a restaurant with recorded/DJ music and that the local community board had previously advised the Licensee that it would not approve having a DJ at the Licensed Premises.

### **Licensee's Case**

**Licensee witness JAV** is the owner of the Licensed Premises. She described the Licensed Premises as a bar with a dining area. JAV acknowledged that, on August 11, 2016, she appeared before the Board and, in settlement of prior disciplinary charges, agreed that the Licensee would cease having a DJ and allowing dancing.

To this end, JAV claims that signs were posted stating that there was to be no dancing and that the DJ area was "stripped" so that all that remained was a digital screen which displays the recorded music being played. She insisted that there is no DJ, only an audio technician who sat by the screen to assure it was working properly. JAV referred to the Examiner Checklist and Digest filed by the Licensee in 2013, which made reference to the use of a DJ. (See State Exhibit 4.)

JAV further stated that music and dancing were part of Latino culture and that dancing was in the "Latino soul." She also stated that the licensed business could not survive without allowing music and patron dancing, and she asserted that, in September 2011, the community board approved the Licensee's use of a DJ while, at the same time, testifying that the community board would never allow dancing. JAV described the licensed business as family owned with a positive reputation in the community and that she is trying to sell the business.

Thirty 3 Sixty 3 LLC /Made in Puerto Rico  
1268116 Bronx OP 1268116  
Docket No. 1933-2016 / Case No. 114159

### **OPINION**

Charge 1 - There is substantial evidence to sustain the Charge. It is uncontroverted that the Licensee permitted dancing on the Licensed Premises contrary to its Method of Operation and contrary to the express direction from the Authority in August 2016 to cease and desist dancing on the Licensed Premises. There is some dispute whether the Licensee was using a DJ, but, on balance, Davis' observation of an individual seated in what appeared to be a DJ booth with music streaming would seem to give the appearance of a DJ-like operation. This appearance also contravenes the express direction of the Authority in August 2016.

Moreover, Licensee witness JAV herself admitted that the Licensee would never be able to get a cabaret license, yet dancing was permitted at the Licensed Premises, the "no dancing" signs notwithstanding.

By way of mitigation, there is no indication in the record that the Licensee has been the subject of community complaints. Moreover, apparently the Licensee is considered positively by the community.

### **CONCLUSION**

Charge 1: The Charge is sustained.

Dated: February 15, 2017

  
\_\_\_\_\_  
Nicholas DeCesare  
Administrative Law Judge

STATE OF NEW YORK  
DIVISION OF ALCOHOLIC BEVERAGE CONTROL

80 South Swan Street, Suite 900  
Albany, NY 12210-8002

317 Lenox Avenue  
New York, NY 10027

535 Washington Street, Suite 303  
Buffalo, NY 14203

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IN THE MATTER OF PROCEEDINGS TO CANCEL OR REVOKE

NOTICE OF PLEADING

1268116, BRONX OP 1268116

1933-2016/Case No. 114159

THIRTY 3 SIXTY-3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX, NY 10461

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Date: 09/15/2016

Licensee's name and residence address  
ACEVEDO, JACQUELINE  
637 PENN AVE, TEANECK, NJ 07666

DIVISION OF ALCOHOLIC BEVERAGE CONTROL

Licensee's Landlord  
MONTEMURRO ENTERPRISES LLC  
548 THROGGS NECK EXP, BRONX, NY 10465

Office of Counsel  
by: Robert Buckley  
317 Lenox Avenue, 4th Floor  
New York, New York 10027

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Tel: (212) 961-8343  
Fax: (212) 961-8316

Certified Mail #7015 1520 0003 1634 6035

State Ex. Buckley



STATE OF NEW YORK  
DIVISION OF ALCOHOLIC BEVERAGE CONTROL  
OFFICE OF COUNSEL  
317 Lenox Avenue, 4th Floor  
New York, NY 10027

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10/24/2016

ARELIA TAVERAS  
NY BUSINESS LICENSING GROUP  
38-10 99TH STREET - SUITE 101  
CORONA, NY 11368

RE: 1268116, BRONX OP 1268116  
THIRTY 3 SIXTY 3 LLC  
3363 E TREMONT AVE  
BRONX, NY 10461  
Docket 1933-2016/Case 114159

Dear Ms. Taveras,

In response to your request for a more definite statement of the charge contained in the Notice of Pleading dated 9/15/2016 please be advised that the license file contains, in substance, the information in the attached investigative report dated August 31, 2016 of beverage control investigator Matthew Davis indicating the following:

On August 2, 2016 BCI Davis entered the licensed premises in the course of his official duties at 2:00 am and observed patrons dancing and a DJ playing music. He reports that the music was so loud that it could be heard outside of the premises from a block away, and that he first heard the music while standing next to I-95. The investigator intended to enter in an undisclosed capacity, but security personnel recognized his colleague BCI Michael Maxwell. Thereafter at no time did the management or security personnel stop persons from dancing or the music from playing. The premises were licensed as a restaurant with recorded music but no dancing. (Original method of operation attached). At the time the application lacked a box to check off "DJ". However, the examiner's digest sheet indicates attorney Stacy L. Weiss, who self-certified the application, was asked to include "DJ" on the application but she declined stating that the premises are a restaurant, that DJs are only used on occasion and doesn't need to be added. (See examiner's comments attached). No further details are in the file.

Pursuant to the State Administrative Procedure act, Section 401(4), the Authority hereby demands that the licensee supply evidence that the licensee intends to introduce at a hearing including documentary evidence and identification of witnesses.

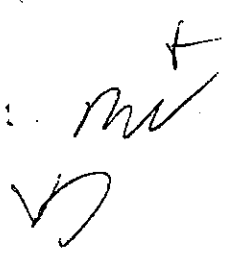
Matters of an evidentiary nature, including but not limited to descriptions of person, distances, lighting conditions, names addresses and the telephone numbers of witnesses, statement made by witnesses, etc, will be provided only at the time of a hearing. Such information does not constitute the proper subject of a bill of particulars under the State Administrative Procedure Act.

Should you require additional information, please call this office. Additionally, should you wish to resolve this matter prior to a hearing by way of an offer in compromise, please submit it in writing prior to the scheduled hearing date of December 1, 2016.

Very truly yours,

Robert F. Buckley

- 1-14 9-1-12



**STATE OF NEW YORK**  
**DIVISION OF ALCOHOLIC BEVERAGE CONTROL**  
**OFFICE OF COUNSEL**  
317 Lenox Avenue, 4th Floor  
New York, NY 10027

\*\*\*\*\*

**Associate Attorney**  
**Phone: (212) 961- 8343**  
**Fax: (212) 961-8316**  
**robert.buckley@sla.ny.gov**

Bronx County  
Serial Number 1268116

State of New York  
EXECUTIVE DEPARTMENT  
Division of Alcoholic Beverage Control

Date Assigned: 8/30/16  
Date Transcribed: 8/31/16

Case Number: 114159

NAME/ADDRESS:

Thirty 3 Sixty 3 LLC  
Made in Puerto Rico Latin Cuisine & Sports Bar  
3363 E. Tremont Avenue  
Bronx, NY 10461

**INVESTIGATIVE ACTIVITY:** Referral from O/C (Flug). Investigate Failure to conform to application in regards to method of operation.

**Origin:** The case originated from a request from Jacqueline Flug, from the office of counsel, to investigate the premise above due to a statement by the licensee at the Full Board that they have a DJ working; despite the fact that the licensee was told that they could not have one.

**License Information:** The principals of the location are Jacqueline Acevedo, LLC manager; and John Villanueva, manager. The license was originally issued on 3/1/13. It will expire on 2/28/17.

**Investigation:** On 8/28/16, at 2 am, Investigator Michael Maxwell and I visited the location above. At the time of the visit, there was dancing in the premises and a DJ was playing music. See attachment #1. According to the Method of Operation, that is in the SLA database, the premises isn't allowed to have a DJ or dancing. See attachment #2a-b. The music was so loud; I was able to hear it, outside of the premises, from a block away. I was standing next to the I-95 when I first heard the music.

Investigator Maxwell and I went to the location undisclosed, but the security recognized Maxwell as an SLA investigator, and stated as such, and let the both of us in the premises. At no time did they stop the music or stop people from dancing.

End of report.

SUBMITTED BY:

Inv. Matthew Davis Date

8/31/16

REVIEWED BY:

Supervisor

Date

9/6/16



**METHOD OF OPERATION**

*This form satisfies Section 110 of the ABC Law requiring that a statement be submitted indicating the type of establishment operated at the premises.*

The information provided in this section will be the method of operation you are approved for and will be binding. Should you wish to deviate from this method of operation in any way, you must first apply for and receive permission from the Authority.

1a. Select the type(s) of alcohol you intend to serve at the premises:

- Beer Only
- Beer & Wine Only
- Beer, Wine & Liquor

1b. Select the type(s) of establishment you are applying for from the list below (based upon your intended method of operation):

- Restaurants
- Catering Establishment
- Club (Not For Profit, Fraternal Organization - Members Only)
- Bar/Tavern
- Arena / Ball Park / Stadium
- Sports Bar
- Country Club / Golf Course
- Cabaret
- Night Club / Dance Club
- Adult Entertainment
- Bed & Breakfast
- Hotel
- Other (Explain)

2. Will any other business of any kind be conducted in said premises?  YES  NO  
*(If YES, provide details on a separate sheet)*

3. Will premises have music?  YES  NO  
3a. If yes:  LIVE  RECORDED  DJ  JUKE BOX  KARAOKE

4. Will the premises permit dancing?  YES  NO  
4a. If YES, and are located in NYC, do you have a Cabaret permit issued by the City of New York?  
 YES  NO  PENDING

*If Yes, submit a copy of the permit. If Pending, a copy must be submitted prior to issuance of the license.*

4b. If dancing is permitted, who will be permitted to dance?  
 Patrons  Employees for entertainment  Both

4c. If YES, will there be exotic dancing including, but not limited to, topless entertainment, pole dancing and/or lap dancing?  
 YES  NO

4d. Will there be topless entertainment?  
 YES  NO

*continued on next page*

**Print Name**

CN 114159  
Attachment# 2a

OFFICE USE ONLY		
<input type="radio"/> Original	<input type="radio"/> Amended	Date

5. Will the business employ a manager?  YES  NO

5a. If Yes, list name(s) of manager(s):  
(Manager(s) MUST complete a personal questionnaire and submit photo identification prior to employment)

John Villanueva	

5b. If NO, will principal(s) manage?  YES  NO

6. How many employees? (Excluding principals and security personnel)

6a. If answer is "0" provide explanation.

NYS Law requires businesses to carry workers' compensation and disability insurance.  
(See instructions)

If applied for and pending, please indicate.

Workers' Compensation Carrier Name and Policy Number:

WWC 3185069 - Amtrust Ins.

Disability Insurance Carrier Name and Policy Number:

D 480028 Shelterpoint Ins.

Security personnel you hire may be required to be registered in accordance with NYS Security Guard Registration. Please contact the NYS Department of State to obtain information.

7. Will there be security personnel?  YES  NO 7a. If YES, how many?

7b. If Yes, are they registered in accordance with New York State Security Guard Registration?  YES  NO


If NO, explain: (i.e. Not Required)

8. Provide a detailed plan of supervision for the premises to be licensed. Attach additional sheets if necessary.

The principal will be present during all hours of operation, when she is not available, the manager will be present. There are 20 security cameras through the restaurant and 2 on the exterior of the frontage. There will be security personnel during the weekends to maintain order and safety during the evening hours of operation.

**ALCOHOLIC BEVERAGES MAY ONLY BE CONSUMED, SOLD OR GIVEN AWAY DURING THE HOURS APPROVED BY THE COUNTY WHERE THE PREMISES IS LOCATED UNLESS FURTHER RESTRICTED BY THE AUTHORITY**



A high-contrast, black and white photograph of a person's face, possibly a man, with a white label in the bottom left corner. The image is heavily stylized, with deep blacks and bright whites, obscuring many details. The person's face is the central focus, showing some features like the nose and mouth. The background is mostly black with some white highlights.

CN 114159

Attachment# 1

39

OFFICE USE ONLY		
<input type="radio"/> Original	<input type="radio"/> Amended	Date

### METHOD OF OPERATION

#### FOR ON-PREMISES LIQUOR APPLICANTS

1. Select the type of establishment you are applying for from the list below (based upon your intended method of operation):

- Bar/Tavern   
  Bed & Breakfast   
  Cabaret   
  Catering Establishment  
 Club (Fraternal Organization -Members Only)   
  Hotel   
  Night Club   
 Restaurant

#### FOR ON-PREMISES BEER OR BEER AND WINE APPLICANTS

1. Select the type of establishment you are applying for from the list below (based upon your intended method of operation):

- Restaurant (Beer and Wine only)  
 Other (Explain)

2. Will any other business of any kind be conducted in said premises?     YES     NO  
(If YES, provide details on a separate sheet)

3. Will premises have music?     YES     NO    3a. If yes:     LIVE     RECORDED

4. Will the premises permit dancing?     YES     NO

4a. If YES, and are located in NYC, do you have a Cabaret permit issued by the City of New York ?

- YES   
  NO   
  PENDING

5. Select the method of operation that best describes the business:

- Restaurant   
  Dance Club   
  Sports Bar   
  Adult Entertainment   
  Wine Bar  
 Pizzeria   
  Cafe   
 Other (Explain)

6. Will the business employ a manager?     YES     NO

If YES, see question 6a.

6a. Name(s) of manager(s):  
(Manager(s) MUST complete a personal questionnaire and submit photo identification prior to employment)

John Villanueva	

6b. If NO, will principal(s) manage?     YES     NO

continued on next page



39

OFFICE USE ONLY		
<input type="radio"/> Original	<input type="radio"/> Amended	Date

**NYS Law requires businesses to carry workers' compensation and disability insurance.**  
*(see instructions)*

Workers' Compensation Carrier Name and Policy Number:

Disability Insurance Carrier Name and Policy Number:

7. How many employees?

7a. If answer is "0" provide explanation.

8. Will there be security personnel?  YES  NO 8a. If YES, how many?

8b. If they are required to be registered, are they registered in accordance with New York State Security Guard Registration?  YES  NO

If NO, explain: (ie. Not Required)

**Security personnel you hire may be required to be registered in accordance with NYS Security Guard Registration. Please contact the NYS Department of State to obtain information.**

**ALCOHOLIC BEVERAGES MAY ONLY BE CONSUMED, SOLD OR GIVEN AWAY DURING THE HOURS APPROVED BY THE COUNTY WHERE THE PREMISES IS LOCATED UNLESS FURTHER RESTRICTED BY THE AUTHORITY**

## Examiner Checklist & Digest

KEY: (where applicable, use: ✓ if received, ⊙ if not applicable, & add typewritten notes to any box or area if necessary.)

**DATE:** 01/07/13      **EXAMINER:** Linda DeFazio -Ahmed      **SELF-CERTIFICATION?** Yes  
**LICENSE TYPE:** OP      **COUNTY:** Bronx      (Type YES if it is, leave blank if not)  
**DATES (if Seasonal):** to      **ZONE:** 1  
**SERIAL #:** 1268116  
**NAME & ADDRESS:** THIRTY 3 SIXTY 3 LLC, 3363 E TREMONT AVE, BRONX NY 10461

**Date of Community Board/Municipality Notification** 09/13/2012      **Within 200' of a school, church or place of worship?** No  
**Any Protests / Objections to this License?** None      **500' Hearing?** No      **Date of Hearing:** ⊙  
**Name(s) of Protester(s):**

**APPLICANT(S)-(Principals and Managers):** If further info needs to be listed, place an asterisk (\*) in appropriate column and type additional info directly under the table.

Name	Relationship	Shares or %	PO Recd	Intest	Photo ID	180 Day Citizen	Convictions or Pending Charges	License History	Adverse History	Current Occupation
ACEVEDO, JACQUELINE	LLC Manager	100	✓	✓	✓	✓	None	None	None	Marketing Director - Pharmacy
VILLANUEVA, JOHN	Manager	0	✓	✓	✓			None	None	Lab Technician

**Certificate of Disposition, Conviction or Certificate of Relief from Disabilities submitted for all?** ⊙

**Fingerprint results received for all new applicants** ✓

**FINANCES:**  
**Cash:** \$ 50,000.00  
**Deferred:** \$ 250,000.00  
**\$ 300,000.00**

**TOTAL COST** (as per List of Expense)

**APPROVED**  
 JAN 28 2013  
 DANA CHRISTIAN  
 LICENSING BOARD

Name of Person Providing Funds (Applicant, Donor, Lender, Joint Acct Holder, etc)	Relationship to Applicant (Self, Spouse, Parent, etc)	Amount (List Each Separately)	Source (Where funds came from)	Payment received? (Bank, Cash, etc)	PO Recd received? (Donor's, Lenders, Joint Acct Holder, etc)	Interest in Business?	Verified (Yes or No)
Rasila Dhaduk	Lender	190,000	Wells Fargo				
Jayanti Dhaduk	Lender	0	Joint Account Holder				
Mita Pipalia	Lender	60,000	Wells Fargo				
Rajesh Pipalia	Lender	0	Joint account holder				
Jacqueline Acevedo	Applicant	50,000					

**PREMISES:**

Name of Current or Previous licensee, if applicable: Ballyliffin Enterprises inc  
Serial # 1161525  
Dates of license(s): 05/04/2005 to 04/30/2013  
Current status of license:  
✓Active Revoked Abandoned Surrendered Canceled Non-Renewed  
Safekeeping No Record Expired DATE:  
Adverse history of premises: None

**LEASE:**

Name of Landlord: MONTEMURRO ENTERPRISES LLC (Cosmo Montemurro)  
Number of years owned: 9  
Dates of Lease: 09/01/2012 to 08/31/2022  
Lease Renewal:   
Assignment: Yes Sublease:   
Prior license history of Landlord, if applicable: None  
Adverse history of Landlord, if applicable: None  
Rent: starting at \$7,500 p/m with 3% yearly increases ending term at \$9,780 p/m

**ESTABLISHMENT QUESTIONNAIRE:**

Type of building: 1 story building  
Any outside areas (patios, decks, rooftops, etc): No  
List floors to be licensed (including basements, etc): 1<sup>st</sup> floor and basement  
Use of rooms: 1<sup>st</sup> fl: Kitchen, dining area, bar, 2 restrooms, basement storage.  
Basement to be used for storage: Yes  
Is there interior access from prem: Yes Describe access: stairs  
If others have access, further describe:   
Any interior access to other floors (NOT to be licensed):   
If yes, further describe:   
Number of Bathrooms: 2 Waiver request rec'd:   
Maximum Occupancy: 130  
Bars: # of Stand-Up Bars: 1 # of Service Bars: 0  
Kitchen facilities: Yes If not, Food Prep area:

**METHOD OF OPERATION:**

Type of operation: Restaurant serving beer, wine and liquor  
If premises will have Music, what type (live, recorded): Yes recorded music ADD DJ  
Will premises permit Dancing:  
Number of Employees: 8 Any Security Personnel: 0  
Any Manager: John Villanueva  
Any work experience in the alcohol industry:

**ADDITIONAL INFO:**

Attorney or Representative: STACY L WEISS ESQ  
110 E 59TH ST  
23RD FL  
NEW YORK NY 10022

Temporary Permit (ST) applied for: No  
Liquidator's Permit (ML) applied for: No  
If yes, Alcoholic Beverage Inventory received: No  
If no, Statement re: No transfer of alcoholic beverages received: No

**Other:** Prior license is active. – landlord submitted a statement that the prior licensee abandoned the license, Letter of abandonment sent out on 01/07/12

Representative was asked for a signed statement that Mr. John Villanueva is not part of the corporation and is a paid employee, rep states that she does not have to supply this.

Representative was asked for additional documentation as to the active licensee. Landlord submitted a statement that he does not rent to the licensee any longer and is now renting to the applicant. Information was requested as to the circumstances as to the active licensee abandoning this premise if evicted please provide court documentation Representative states that the letter submitted was sufficient.

**\*\*\* Letter of abandonment on the active license was sent out on 1/08/13 License was improperly surrendered and the licensee was contacted to correct this.**

Representative was asked to add DJs to the Method of Operation, she states that this is a restaurant, the DJs are only on occasion and it doesn't need to be added to the Method of Operation.

**\*\*\*See Notes - Phone call from Politician's Office**

**SUBJECT TO:** (Examiner must list ALL conditions of approval)

Surrender of Active License # 1161525

Notice of Publication

Certificate of Authority to Collect Sales Tax

Amend Establishment Questionnaire to add DJ

Filing Receipt (Dept. of State):

Workers Comp / Disability Insurance

Completion photos including front elevation showing the applicant's sign.

**CHECKLIST – To be filled in completely. Do not delete anything. Make sure each box has an entry.**

**APPLICATION SECTIONS (in application order):**

**Fees:**

- ✓Application:
- ✓Right to Premise:
- ✓Landlord Identification
- ✓List of Expenses:
- ✓500 Foot Rule:
- ✓Statement of Area Plan:
- ✓Establishment Questionnaire: amend to include all rooms of the basement
- ✓Method of Operation
- NEED Notice of Publication:
- ✓Citizenship Affirmation:
- ✓Applicant's Statement:
- ⊙Grocery Store Stipulation:
- ⊙Liquor Store Questionnaire:
- ✓Personal Questionnaire(s):

**SUPPORTING DOCUMENTS (in alphabetical order):**

- ⊙Bathroom Waiver (On-Premises, if only 1 bath):
- ⊙Bill of Sale:
- ✓Bond:
- ⊙Bulletin #254 (Wholesale Licenses):
- ⊙Certificate of Assumed Name:
- NEED Certificate of Authority to Collect Sales Tax:
- ⊙Certificate of Disposition(s):
- ✓Certificate of Occupancy:
- ⊙Coast Guard Certification:
- ⊙Contract/Assignment:
- ⊙Corporate Minutes (Corporations) / Operating Agreement (LLCs):
- ⊙Deed:
- ✓Diagrams: ✓ Interior ✓ Block Plot Frontal Elevation
- ✓Federal ID #:
- NEED Filing Receipt (Dept. of State):
- ✓Fingerprint Cards:
- ⊙Franchise Agreement:
- ⊙Golf Cart Description & Dimensions:
- ⊙Holding Corp Stipulation:
- ✓Investment Records:
- ✓Lease/Assignment
- ⊙Living Quarters Letter:
- ✓Maximum Occupancy:
- ✓Menu:
- ✓Notice of Appearance:
- ✓Notice to Municipality / Community Board / Letter of Waiver:
- ⊙Pharmacy License (D/DX Licenses):
- ✓Photos (Of Premises): Completion photos including front elevation showing the applicant's sign.
- Statements/Affidavits:
- ⊙TTB Permit (Wholesale Licenses):
- NEED Workers Comp / Disability Insurance: NEED <or> Cert. of Attestation of Exemption:

**Other:**



NEW YORK STATE LIQUOR AUTHORITY  
FULL BOARD AGENDA  
MEETING OF 04/12/2017

2017-00720

REASON FOR REFERRAL  
NOT GUILTY

1268116, BRONX OP 1268116  
THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX NY 10461

DO#1933-2016/Case # 114159

1. FAILURE TO CONFORM TO APPLICATION ON 08/28/16

MP: REVOCATION PLUS BOND CLAIM

LICENSE ISSUED: 03/01/2013  
LICENSE EXPIRES: 02/28/2019

ADVERSE HISTORY:

1. DISORDERLY PREMISES - GENERAL ON 9/25/15 AND FAILURE TO COMPLY - LOCAL REGULATIONS ON 12/20/15; FAILURE TO CONFORM TO APPLICATION [UNAUTHORIZED DJ & SECURITY GUARD(S)] & FAILURE TO SUPERVISE ON 2/1/16, FAILURE TO SUPERVISE ON 2/8/16, FB ON 6/1/16 IMPOSED \$8,000 CIVIL PENALTY (PAID)
2. FAILURE TO CONFORM TO APPLICATION; PRE-MIXING; FAILURE TO COMPLY - NOISE AND NOISE/NUISANCE (RULE) ON 4/2/16, FB ON 8/16/16 IMPOSED \$10,000 CP (PD)

NOTES:

1. CHARGE IS SUSTAINED
2. LICENSEE HAD UNTIL 3/14/17 TO SUBMIT A LETTER OF CONTROVERSION [NO LETTER RECEIVED]
3. ENDORSEMENT APPLICATION TO ADD DJ FILED ON 7/26/16 WAS WITHDRAWN 1/11/17

The Members of the Authority at their meeting held at the Zone I New York Office on 04/12/2017 determined:

CHARGES SUSTAINED

Voting was as follows:

1. CHAIRMAN VINCENT G. BRADLEY Voted: YES
2. COMMISSIONER GREELEY T. FORD Voted: YES

Penalty:

Bond Claim: \$1000.00  
Cancellation

**NEW YORK STATE LIQUOR AUTHORITY  
FULL BOARD DISPOSITION  
MEETING OF 04/12/2017**

04/19/2017

THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX NY 10461

Re: 1268116, BRONX OP 1268116  
DO # 1933-2016/Case # 114159  
AGENDA ITEM NO. 2017-00720

Dear Licensee:

The Members of the Authority on 04/12/2017 determined as follows with regard to the above captioned matter:

**CHARGES SUSTAINED**

Penalty is the following:

Bond Claim: \$1000.00  
Cancellation

a demand for the bond claim will be made to your bonding company, who will then seek repayment from you and additional expenses may be incurred in connection with the restoration of the bond.

THOMAS J. DONOHUE, ESQ.  
NEW YORK STATE LIQUOR AUTHORITY  
SECRETARY'S OFFICE  
80 South Swan Street, Suite 900  
Albany, NY 12210  
[518] 474-3114  
Secretarys.Office@sla.ny.gov

cc: file  
ARELIA TAVERAS  
NY BUSINESS LICENSING GROUP  
38-10 99TH STREET - SUITE 101  
CORONA NY 11368

NEW YORK STATE LIQUOR AUTHORITY

**CANCELLATION ORDER  
EFFECTIVE MAY 19, 2017**

**WITH \$1,000 BOND CLAIM**

1268116, BRONX OP 1268116

1933-2016/Case No. 114159

THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX, NY 10461

Proceedings having been duly instituted pursuant to the provisions of the Alcoholic Beverage Control Law, (Chapter 478 of the Laws of 1934, as amended) to cancel or revoke the above license issued to the licensee for premises located at the address stated above and the licensee having duly pled "no contest" to the charges contained in the Notice of Pleading or a hearing having been duly held by the State Liquor Authority in connection with said proceedings, and

The matter having been duly considered by the State Liquor Authority at a meeting held on 04/12/2017, and the Authority having found:

1. That on or before August 28, 2016, the licensee failed to conform with all representations set forth in the application, or approved amendments thereto, for the on-premises license under which such license was applied for and issued; all cause for revocation, cancellation or suspension of the license in accordance with Rule 54.8 of the Rules of the State Liquor Authority [9 NYCRR 48.8].

IT IS HEREBY ORDERED that the license aforesaid issued to said licensee for the above described premises be, and the same hereby is **CANCELLED**, effective MAY 19, 2017; and

IT IS FURTHER ORDERED that said licensee surrender said license forthwith to the State Liquor Authority or its duly authorized representative, on the above effective date.

Dated: 04/19/2017

STATE LIQUOR AUTHORITY

Certified by

THOMAS J. DONOHUE, ESQ.  
Secretary to the Authority

VINCENT G. BRADLEY  
CHAIRMAN

To: 3363 E TREMONT AVE, BRONX, NY 10461

Licensee's name and residence address

ACEVEDO, JACQUELINE, 637 PENN AVE, TEANECK, NJ 07666

Licensee's Landlord

MONTEMURRO ENTERPRISES LLC, 3348 POLO PL, BRONX, NY 10465

Please take notice that any person who shall sell any alcoholic beverages, without a license by the Liquor Authority or after his license has been revoked, cancelled or surrendered, shall be guilty of a misdemeanor, and upon conviction thereof shall be punished by a fine of not less than two hundred dollars nor more than twelve hundred dollars or by imprisonment in a county jail or penitentiary for a term of not less than thirty days nor more than one year or both.

STATE OF NEW YORK  
DIVISION OF ALCOHOLIC BEVERAGE CONTROL

80 South Swan Street, Suite 900  
Albany, NY 12210-8002

317 Lenox Avenue  
New York, NY 10027

535 Washington Street, Suite 303  
Buffalo, NY 14203

\*\*\*\*\*

IN THE MATTER OF PROCEEDINGS TO CANCEL OR REVOKE

NOTICE OF PLEADING

1268116, BRONX OP 1268116

1110-2017/Case No. 118126

THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX, NY 10461

PLEASE TAKE NOTICE, that pursuant to Section 118 of the Alcoholic Beverage Control Law you are required to answer by mail as provided below, or in person with proper photo ID, at the office of the Division of Alcoholic Beverage Control, Harlem Center, 317 Lenox Avenue, 4th Floor, (between 125th & 126th Streets), New York, New York 10027, on **05/31/2017, at 11:00 AM**, in connection with proceedings to cancel or revoke the above-referenced license, and to plead to the following charge(s):

1. That on 4/1/2017, the licensee suffered or permitted the licensed premises to become disorderly in violation of subdivision 6 of section 106 of the Alcoholic Beverage Control Law.

PLEASE TAKE NOTICE THAT YOUR FAILURE TO PLEAD WILL BE DEEMED A "NO CONTEST" PLEA AND NO FURTHER HEARING WILL BE HELD.

PLEASE TAKE FURTHER NOTICE that you may be represented by counsel.

PLEASE TAKE FURTHER NOTICE that you may plead to the charge(s) by mail instead of by personal appearance provided that a letter signed by you or your attorney, setting forth your plea of "Not Guilty" or "No Contest" is received by the Office of Counsel of the Division of Alcoholic Beverage Control at the above New York City address on or before the pleading date specified above.

PLEASE TAKE FURTHER NOTICE that the maximum penalty may be a revocation and forfeiture of the Bond filed by you, and or a civil penalty. In addition, if the Authority revokes the license, the Authority may proscribe the issuance of a license at the premises for a period of two years from the date of revocation of the license.

PLEASE TAKE FURTHER NOTICE: If you plead not guilty to the charge(s), a hearing will thereafter be scheduled at which you may appear with counsel, produce witnesses, and introduce evidence in your behalf.

PURSUANT TO SECTION 301 of the State Administrative Procedure Act and Executive Order Number 26, interpreter services shall be made available to licensees, at no charge, by the Authority.

Date: 05/08/2017

Licensee's name and residence address  
ACEVEDO, JACQUELINE  
637 PENN AVE, TEANECK, NJ 07666

DIVISION OF ALCOHOLIC BEVERAGE CONTROL

Licensee's Landlord  
MONTEMURRO ENTERPRISES LLC  
3348 POLO PL, BRONX, NY 10465

Office of Counsel  
by: ALEXANDRA OBREMSKI  
317 Lenox Avenue, 4th Floor  
New York, New York 10027

Notice to Landlord: As stated above, in the event the disposition of this case results in a Revocation of the license, the Authority may impose, as part of the penalty, a two year prohibition against the issuance of any alcoholic beverage license at these premises.

Tel: (212) 961- 1287  
Fax: (212) 961-8316

Certified Mail # 7016-2140-0000-2343

STATE OF NEW YORK  
DIVISION OF ALCOHOLIC BEVERAGE CONTROL

80 South Swan Street, Suite 900  
Albany, NY 12210-8002

317 Lenox Avenue  
New York, NY 10027

535 Washington Street, Suite 303  
Buffalo, NY 14203

\*\*\*\*\*

IN THE MATTER OF PROCEEDINGS TO CANCEL OR REVOKE

NOTICE OF PLEADING

1268116, BRONX OP 1268116

1105-2017/Case No. 118443

THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX, NY 10461

PLEASE TAKE NOTICE, that pursuant to Section 118 of the Alcoholic Beverage Control Law you are required to answer by mail as provided below, or in person with proper photo ID, at the office of the Division of Alcoholic Beverage Control, Harlem Center, 317 Lenox Avenue, 4th Floor, (between 125th & 126th Streets), New York, New York 10027, on **05/31/2017, at 11:00 AM**, in connection with proceedings to cancel or revoke the above-referenced license, and to plead to the following charge(s):

1. That on 4/6/2017, in violation of subdivision 1 of section 65 of the Alcoholic Beverage Control Law, the licensee sold, delivered or gave away, or permitted to be sold, delivered or given away, alcoholic beverages to a person or persons actually under the age of twenty-one years.

PLEASE TAKE NOTICE THAT YOUR FAILURE TO PLEAD WILL BE DEEMED A "NO CONTEST" PLEA AND NO FURTHER HEARING WILL BE HELD.

PLEASE TAKE FURTHER NOTICE that you may be represented by counsel.

PLEASE TAKE FURTHER NOTICE that you may plead to the charge(s) by mail instead of by personal appearance provided that a letter signed by you or your attorney, setting forth your plea of "Not Guilty" or "No Contest" is received by the Office of Counsel of the Division of Alcoholic Beverage Control at the above New York City address on or before the pleading date specified above.

PLEASE TAKE FURTHER NOTICE that the maximum penalty may be a revocation and forfeiture of the Bond filed by you, and or a civil penalty. In addition, if the Authority revokes the license, the Authority may proscribe the issuance of a license at the premises for a period of two years from the date of revocation of the license.

PLEASE TAKE FURTHER NOTICE: If you plead not guilty to the charge(s), a hearing will thereafter be scheduled at which you may appear with counsel, produce witnesses, and introduce evidence in your behalf.

PURSUANT TO SECTION 301 of the State Administrative Procedure Act and Executive Order Number 26, interpreter services shall be made available to licensees, at no charge, by the Authority.

Date: 05/08/2017

Licensee's name and residence address  
ACEVEDO, JACQUELINE  
637 PENN AVE, TEANECK, NJ 07666

DIVISION OF ALCOHOLIC BEVERAGE CONTROL

Licensee's Landlord  
MONTEMURRO ENTERPRISES LLC  
3348 POLO PL, BRONX, NY 10465

Office of Counsel  
by: ALEXANDRA OBREMSKI  
317 Lenox Avenue, 4th Floor  
New York, New York 10027

Notice to Landlord: As stated above, in the event the disposition of this case results in a Revocation of the license, the Authority may impose, as part of the penalty, a two year prohibition against the issuance of any alcoholic beverage license at these premises.

Tel: (212) 961-1287  
Fax: (212) 961-8316

Certified Mail # 7016-2140-0000-4395-2329



NEW YORK STATE LIQUOR AUTHORITY  
FULL BOARD AGENDA  
MEETING OF 06/21/2017

2017-01357 - 2017-01358

REASON FOR REFERRAL  
COND NO CONTEST

1268116, BRONX OP 1268116  
THIRTY 3 SIXTY 3 LLC  
MADE IN PUERTO RICO LATIN CUISINE & SPORTS BAR  
3363 E TREMONT AVE  
BRONX NY 10461

DO#1110-2017/Case# 118126  
DO#1105-2017/Case118443

**FIRST PROCEEDING-DO#1110-2017/CASE# 118126**

1. DISORDERLY PREMISES - GENERAL ON 04/01/17

MP; REVOATION PLUS BOND CLAIM

**SECOND PROCEEDING-DO# 1105-2017Case #118443**

1. SALE TO MINOR - ON 04/06/17

MP: REVOCATION [NO BOND AVAILABLE]

OFFER: CANCELLATION

LICENSE ISSUED: 03/01/2013

LICENSE CANCELLED: 05/19/2017

**ADVERSE HISTORY:**

1. DISORDERLY PREMISES - GENERAL ON 9/25/15 AND FAILURE TO COMPLY - LOCAL REGULATIONS ON 12/20/15; FAILURE TO CONFORM TO APPLICATION [UNAUTHORIZED DJ & SECURITY GUARD(S)] & FAILURE TO SUPERVISE ON 2/1/16, FAILURE TO SUPERVISE ON 2/8/16, FB ON 6/1/16 IMPOSED \$8,000 CIVIL PENALTY (PAID)
2. FAILURE TO CONFORM TO APPLICATION, PRE-MIXING, FAILURE TO COMPLY - NOISE, NOISE/NUISANCE (RULE) ON 4/2/16, FB ON 8/16/16 IMPOSED \$10,000 CIVIL PENALTY (PAID)
3. FAILURE TO CONFORM TO APPLICATION ON 8/28/16, FB ON 4/12/17 IMPOSED CANCELLATION AND BOND
4. FAILURE TO POST WARNING SIGNS - PREGNANCY, FAILURE TO COMPLY - UNLICENSED SECURITY GUARD(S), FAILURE TO COMPLY - HEALTH REGULATIONS, FAILURE TO CONFORM TO APPLICATION ON 12/5/15. FB ON 4/26/17 IMPOSED CANCELLATION

**NOTE:**

1. TRANSFER APPLICATION TO MIPR INC FILED ON 5/17/17 AND DISAPPROVED ON 5/22/17 DUE TO PENDING CHARGES

The Members of the Authority at their meeting held at the Zone I New York Office on 06/21/2017 determined:

Areliá Tavaras, representative, appeared for the licensee

CNC ACCEPTED

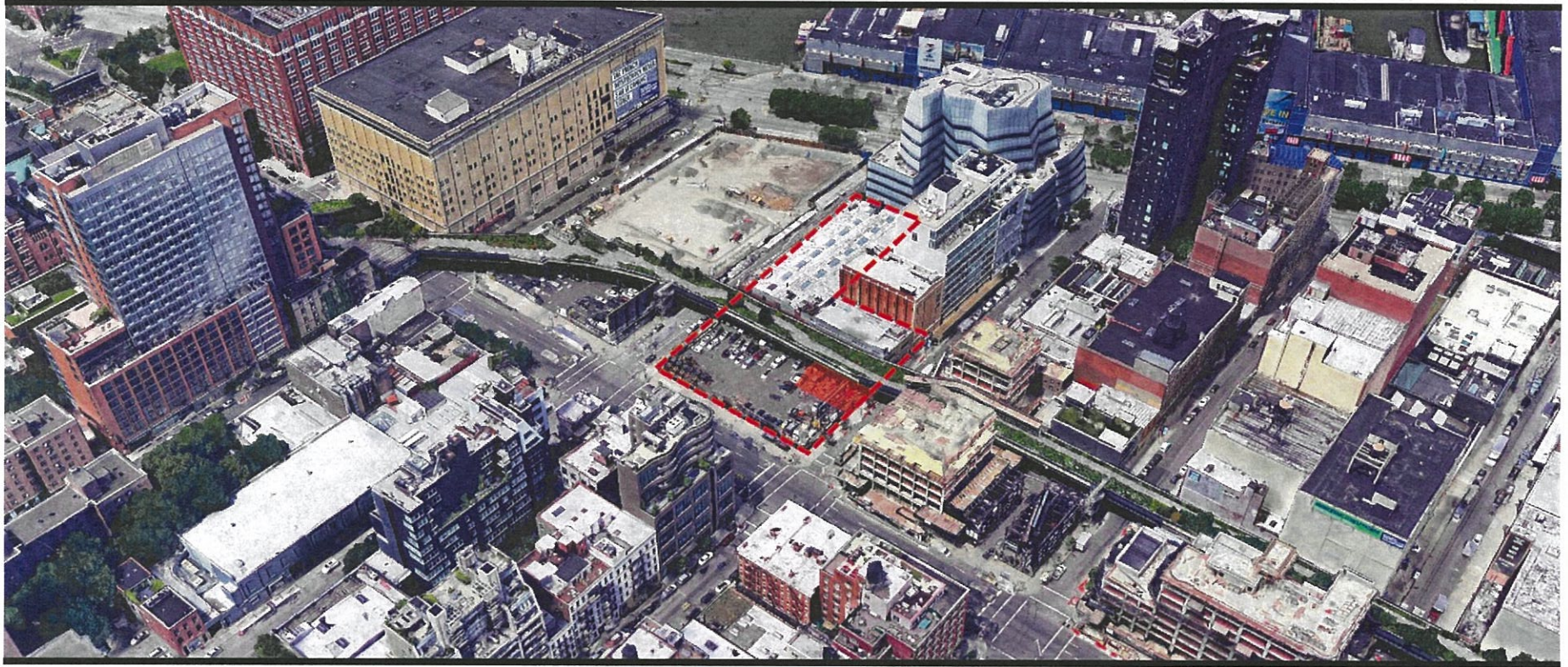
Voting was as follows:

1. CHAIRMAN VINCENT G. BRADLEY Voted: YES
2. COMMISSIONER GREELEY T. FORD Voted: YES

Penalty:

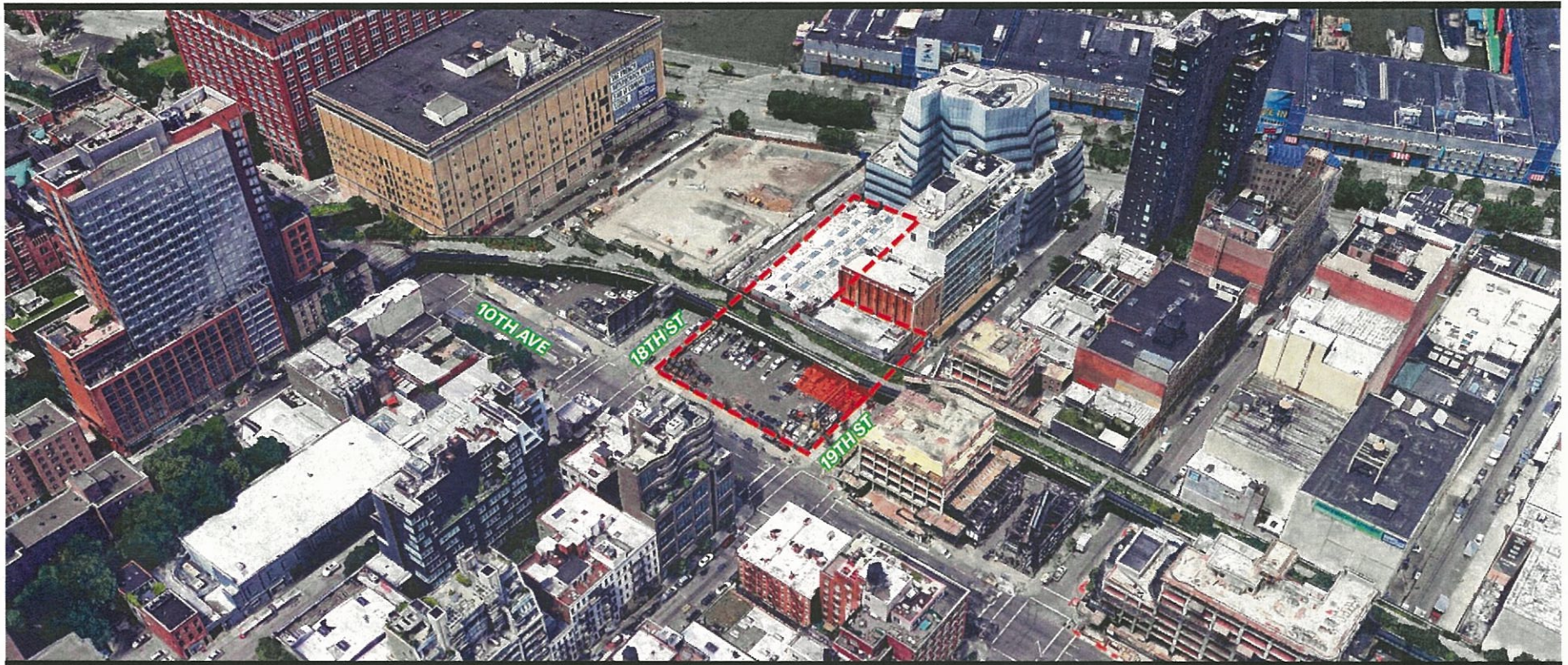
    Cancellation

# SPECIAL WEST CHELSEA - D, E, G TEXT AMENDMENT NEW YORK CITY COUNCIL





# PROJECT OVERVIEW



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## Applicants

NYC Dept. of Parks and Recreation  
Friends of the High Line

---

## Location

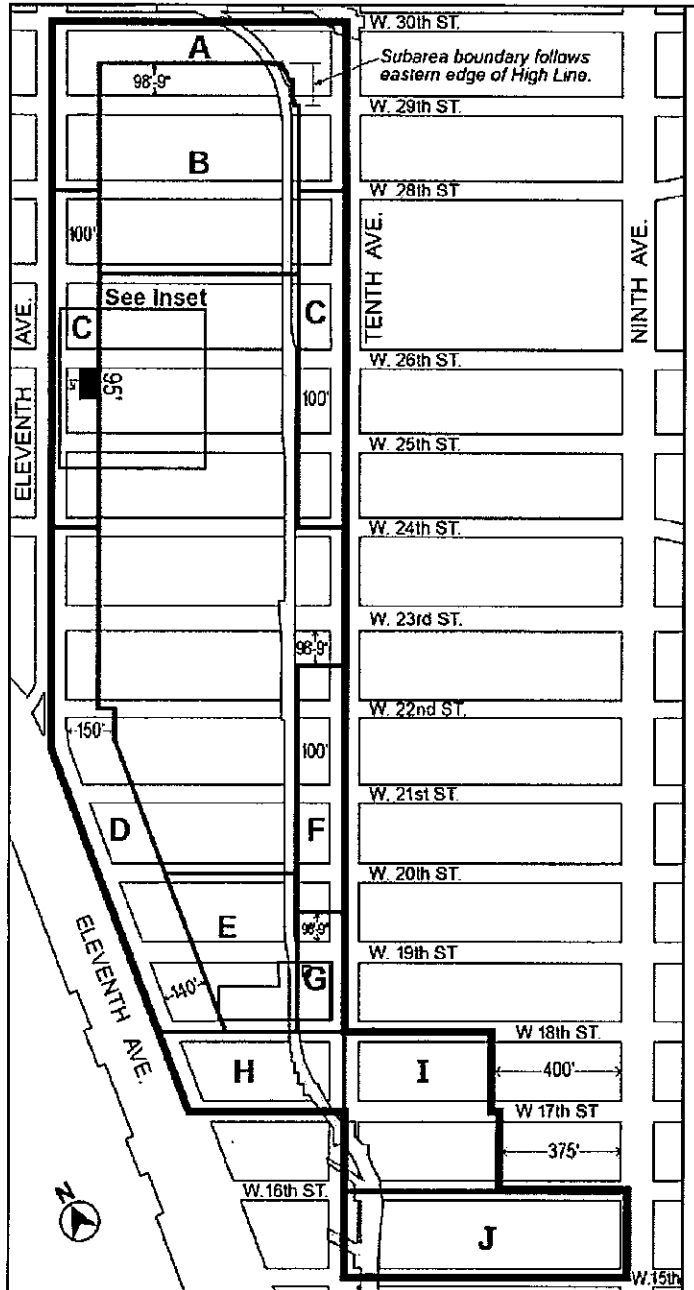
515 West 18th Street  
Block 690, Lot 29  
Special West Chelsea District  
Subareas D, E, and G  
Community District 4  
Borough of Manhattan

---

## Actions Requested

A text amendment to Sections 98-25, 98-51, 98-53, and Appendix E of Special West Chelsea District to allow an operations and support facility for NYC Parks and Friends of the High Line to be provided in lieu of a public access elevator and stair.

# BACKGROUND



## West Chelsea Zoning

The current zoning permits the developer between 18th and 19th Streets to purchase additional square footage in exchange for:

- Payment of \$50 per additional square foot into "High Line Improvement Fund"
- Provision of a public stair and elevator to the High Line

## High Line Improvement Bonus Cert

- The Related Companies received 116,411 SF in bonus floor area
- Related paid \$5,820,575 into High Line Improvement Fund

## Alternate Facility Agreement

- DPR, DCP, FHL, and Related agreed that the site would better serve the High Line through a support facility rather than public access
- The City is pursuing an alternate facility, but if the proposed text amendment does not pass, the developer will proceed with the original stair and elevator



# EXISTING CONDITIONS

## Overview

- There are no permanent operations spaces on the High Line north of the M&O building, located at the southern end of the High Line.
- High visitation makes moving vehicles, tools, trash, and other operations items through the park difficult.
- There are currently no rest areas for staff north of the M&O building.
- The size and location of this easement at the midpoint of the 1.5 mile-long park offers a unique opportunity to provide a critical operations space.

## Current ADA Accessible Entrances

- Seven of the twelve existing access points are currently ADA accessible.
- There are stairs one block to the south and north at 18th Street and 20th Street respectively.
- A new elevator will be constructed one block to the south at 18th Street.



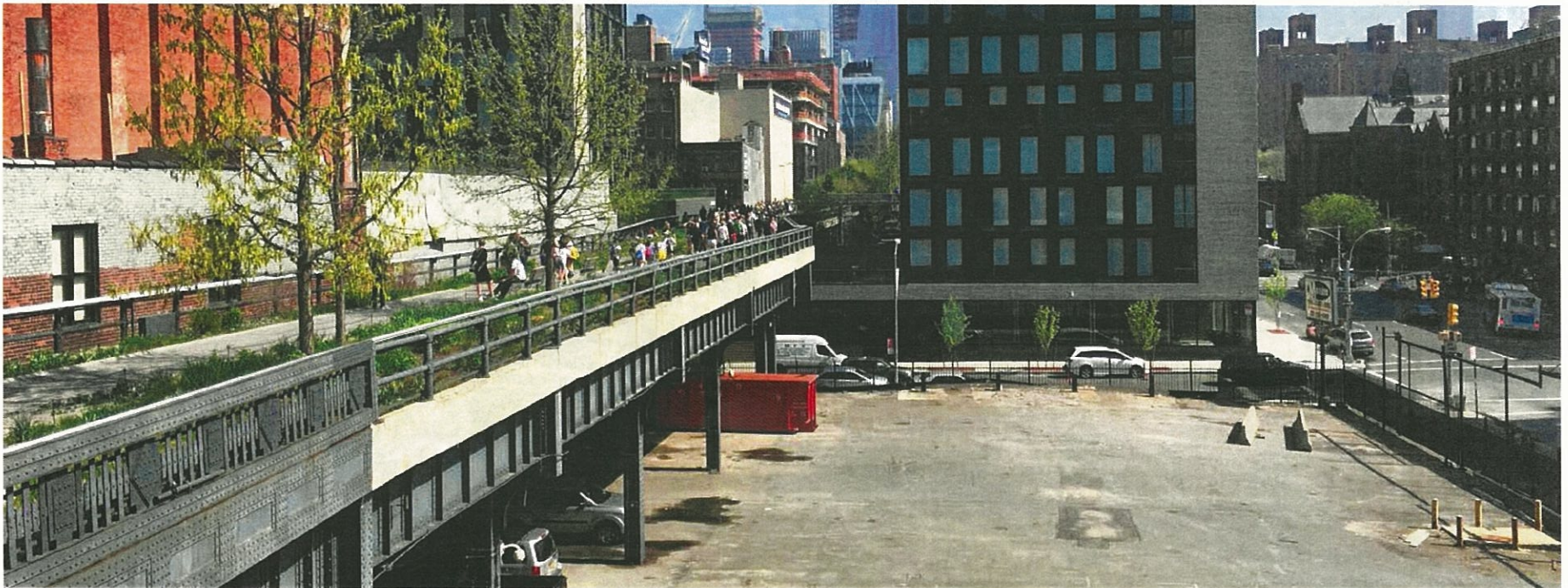


# EXISTING CONDITIONS





# EXISTING CONDITIONS





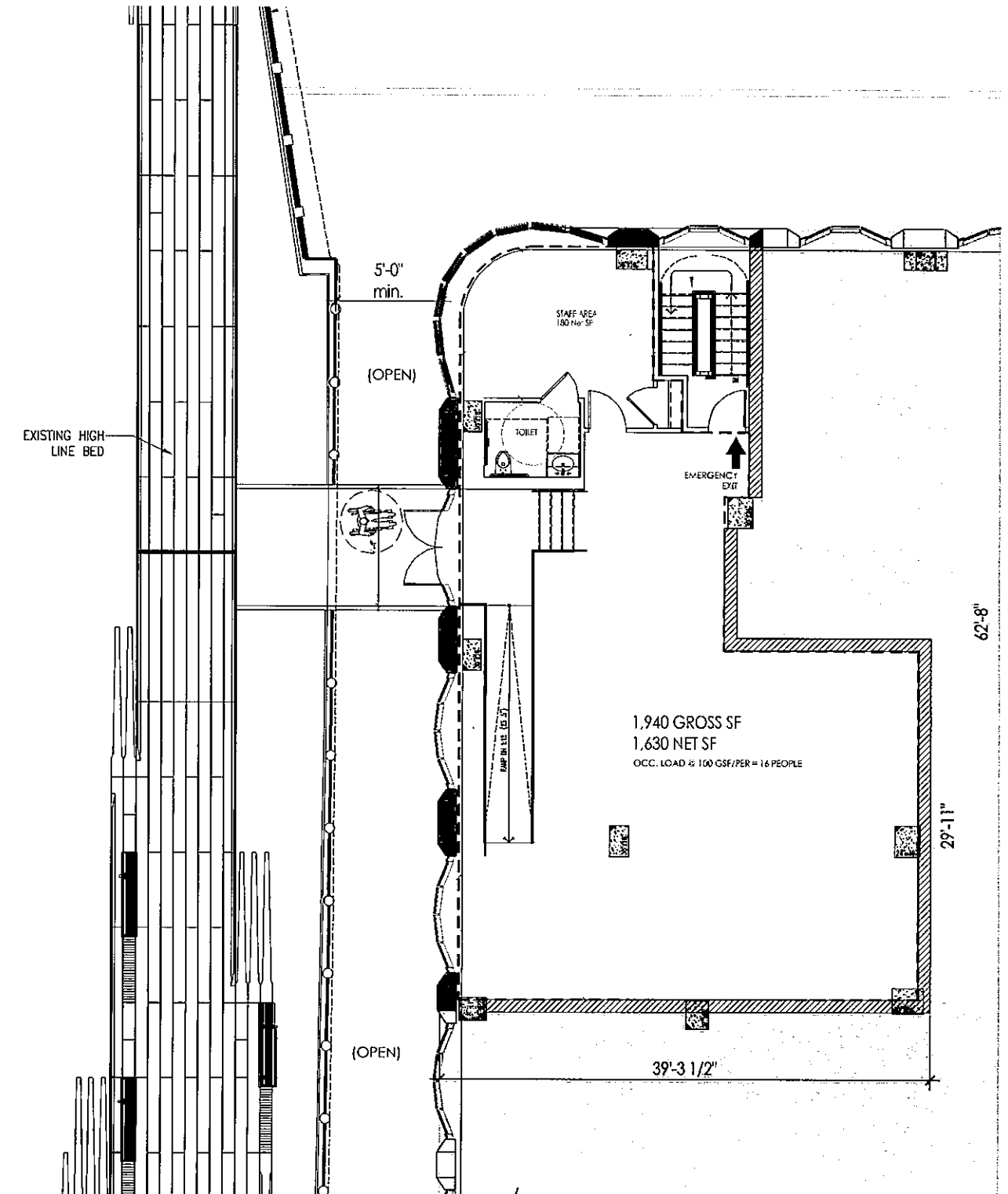
# EASEMENT - PLAN

## Proposed Uses

- Conditioned staff space/field office
- Staff restroom, lockers, private changing area
- Workshop to sustain High Line horticulture
- Utilities including HVAC, electric, water, sewer, telcom, and internet
- Back-of-house support space for public programs, education programs, and events

## Proposed Zoning Changes

- **ZR 98-25** - High Line Improvement Bonus
- **ZR 98-51** - Height and Setback Regulations on the East Side of the High Line
- **ZR 98-53** - Required Open Areas on the East Side of the High Line
- **ZR 98-53** - Special regulations for Zoning Lots Utilizing the High Line Improvement Bonus and Located Partially Within Subareas D, E and G, or within Subarea I



Peter Davies  
Broadway Residents Coalition  
548 Broadway #5A  
New York, NY 10012

August 21, 2017

Donovan Richards, Chair  
NY City Council  
Subcommittee on Zoning and Franchises  
250 Broadway, 16<sup>th</sup> Floor  
New York, NY 10007

Re: 462 Broadway, Manhattan; Council District 1  
LU 0716-2017; LU 0717-2017  
ULURP No.: C 170192 ZSM  
Testimony in OPPOSITION

Dear Chair Richards and Councilmembers,

My name is Peter Davies, nearly 40 years a resident of Broadway in SoHo. I speak today in support of responsible retail, for a positive future in our mixed-use neighborhood, and for protecting the quality of life of residents and small business owners in our community. To that end, I urge the Committee and the Council to deny the application for oversized retail under LU 0717 and to reject any version of LU 0716 that fails to address the need for sensible retail, in both size and operation, at 462 Broadway.

I also speak today as follow-up to the previous Zoning Subcommittee hearing in this matter, from July 27, 2017. During that hearing, our Councilmember, Margaret Chin, gave very strong testimony, stating that she "could not in good conscience support" these applications for oversized and overbearing retail in SoHo. The problems inherent in these two applications are outlined in the very thorough recommendations from both Community Board 2 and Borough President Gale Brewer.

Councilmember Chin clearly explained how the City Planning Commission's decision, allowing for non-conforming retail at this location, was made "using a narrow definition of what is considered appropriate, and a lack of understanding about the true character of the SoHo neighborhood."

She went on to describe how the retail incursion into our unique mixed-use neighborhood, in many instances illegal and currently under violation by the DOB, has diminished the quality of life for SoHo residents. Scores of local residents – many joining together as the Broadway Residents Coalition – have lived for decades in this neighborhood we helped to build. We hope to remain and age in place, but we increasingly find our existence nullified and our quality of life diminished by problems caused by retail operations, big and small, problems outlined by Councilmember Chin:

- noisy retail merchandise deliveries in the middle of the night
- enormous rowdy crowds taking over public space
- trails of trash in the streets and on sidewalks
- a spectacle of overbearing illumination designed only for tourists
- the slow erosion of the foundation of SoHo

Councilmember Chin also noted the applicant's illegal allowance of non-permitted retail in his building at 462 Broadway, something he allowed for nearly 20 years, a blatant violation of the M1-5B zoning, and installed by the applicant solely for self-profit.

Our Councilmember could have noted numerous other ways that this applicant has been less than honest, both to our community and to the City Council, such as:

1. The applicant implied that Landmarks regulations make it nearly impossible for him to have anything but one or two big retail operations at 462 Broadway, when in fact the applicant has already received approval from the LPC for a Master Plan that includes new entranceways for "up to six tenants" as was cited by the applicant's architect during the hearing in that matter.
2. The applicant filed false information with the DOB for nearly two years, claiming that there are no residences within 200 feet of the building, when in fact there are scores of residential units directly opposite and abutting his building.

The applicant is seeking a huge amount of retail – 36,000 to 45,000 SF – to be installed in the middle of our mixed-use neighborhood. To do so he has asked for the maximum "flexibility in leasing to whatever tenants I can find." Those of us who have stood in opposition to this proposal – scores of residents and small business owners – have offered the applicant a great deal of flexibility. Our sensible offer was linked to reasonable and responsible retail, both in size and operation, with controls that are all based on our experience living among and above the type of retail that has come into SoHo over the past decade. But the applicant rejected what we offered. Instead he is demanding an all or nothing proposal that is destined to further diminish our quality of life.

Retail in SoHo today uses cellar space as selling space, something that was rarely found 10 years ago. That practice must be considered when granting any allowance for retail in the M1-5 districts. Retail along Broadway is mainly geared towards destination retail, luring tourists but failing to provide retail that sustains or serves the local community. Residents of SoHo have lived among this non-conforming retail. We know the problems created by this unfettered retail. They are the very problems cited by Councilmember Chin. All are problems that require constant vigilance to mitigate the effects that erode our quality of life in SoHo and nearby neighborhoods.

Despite these specific known negative impacts created by retail along Broadway – often illegal, and all situated in the midst of residences – the applicant has offered only vague and toothless controls to mitigate the problems. As you all know, enforcement in NYC is complaint driven. So what he's offered will mean that local residents will first have to suffer through problems created by a retailer, just as we do now, before corrective action – if any – will be taken.

Since it is known (and documented) that the type of retail sought by the applicant actually creates the very problems that will require mitigation, the responsible action today is to not allow such problematic retail to be installed in the first place. Specific controls are warranted.

As Councilmember Chin has told you: "The residents of SoHo deserve better than having their community treated as a mall." Those of us who live in SoHo, who hope to stay in the neighborhood we helped to create, and who work hard to keep small businesses afloat, all agree with our Councilmember: SoHo deserves better.

The plan for oversized and unfettered retail within any portion of the massive building at 462 Broadway is not good for residents and will do little for SoHo. Today we urge you to act as needed and to protect our quality of life, and to help establish a workable and livable future in SoHo.

Sincerely,

Peter Davies  
*Broadway Residents Coalition*





# 50 NEVINS STREET

Certified on April 3<sup>rd</sup>, 2017



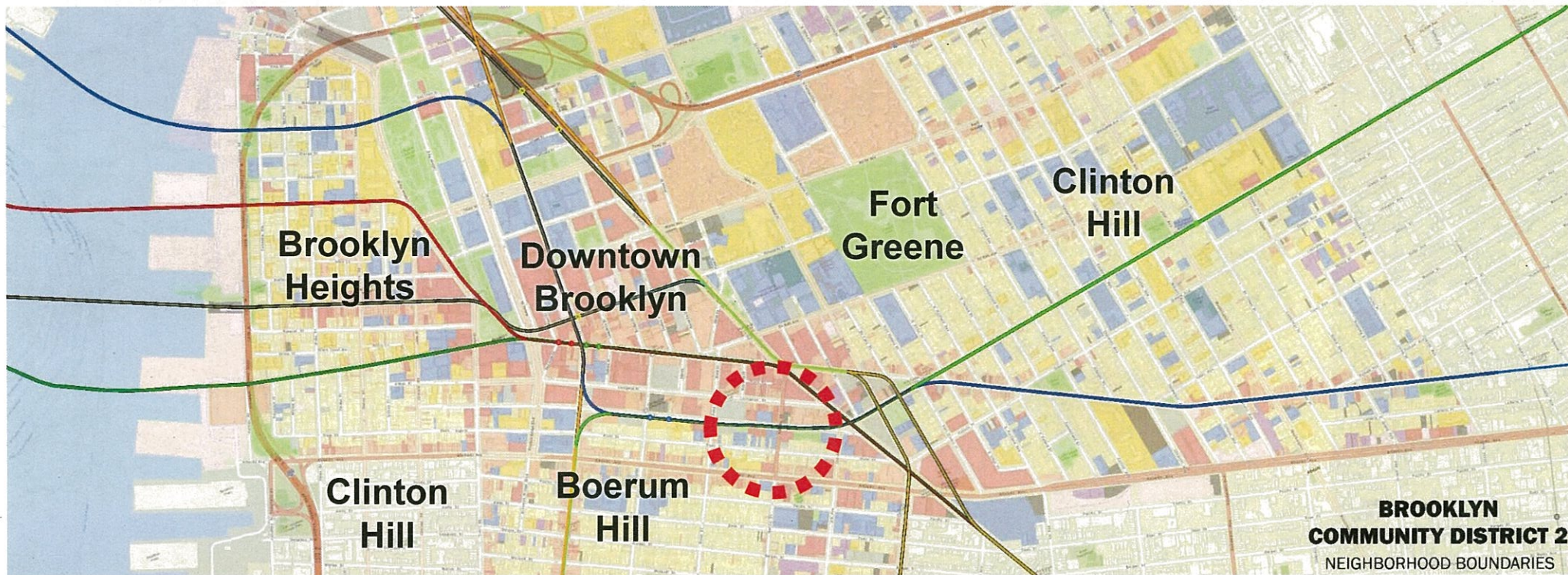
# TWO PROPOSED ACTIONS

## Zoning Map Change

- Rezone from C6-1 to C6-4

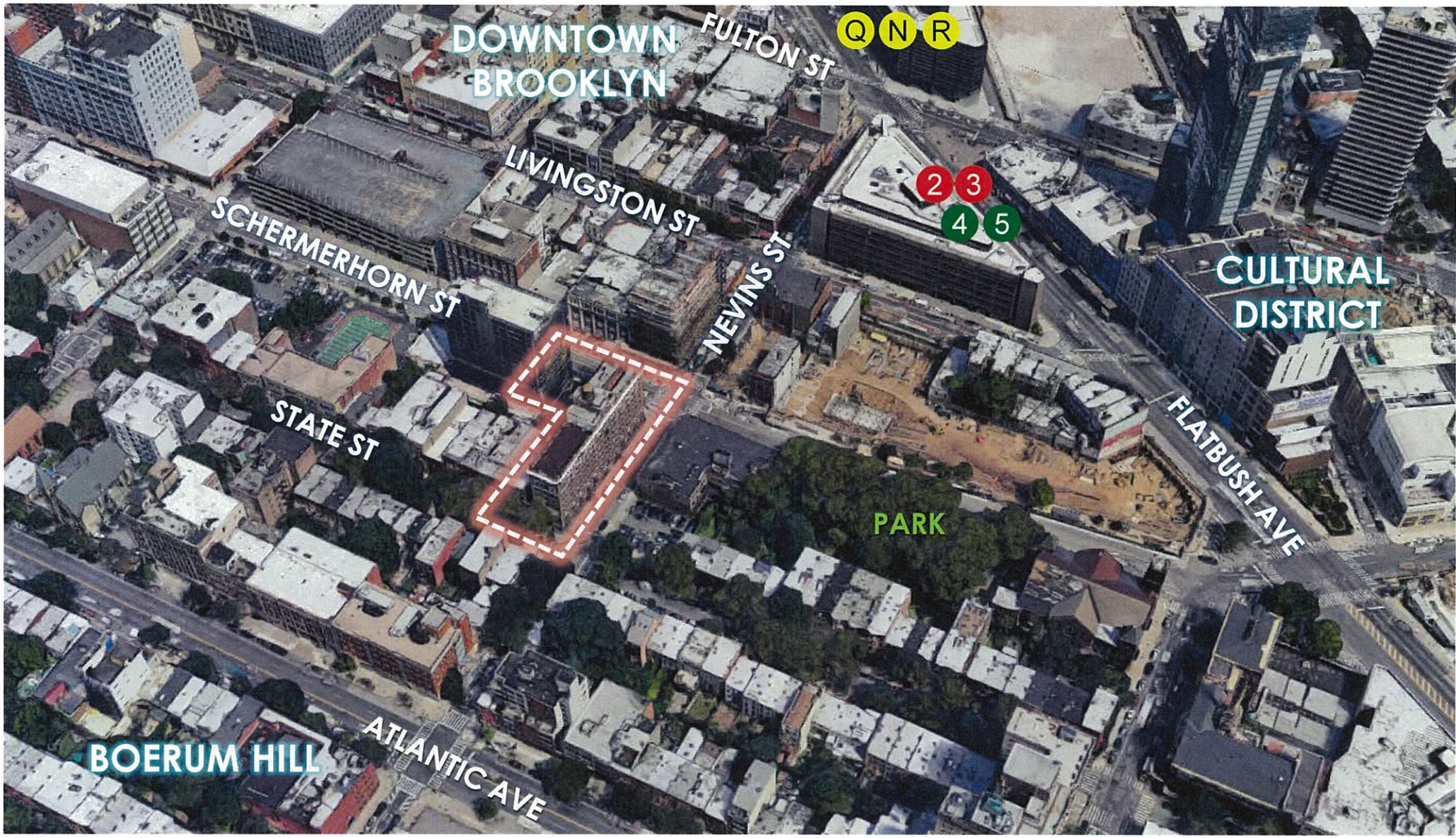
## Zoning Text Amendment

- Designate a new MIH area



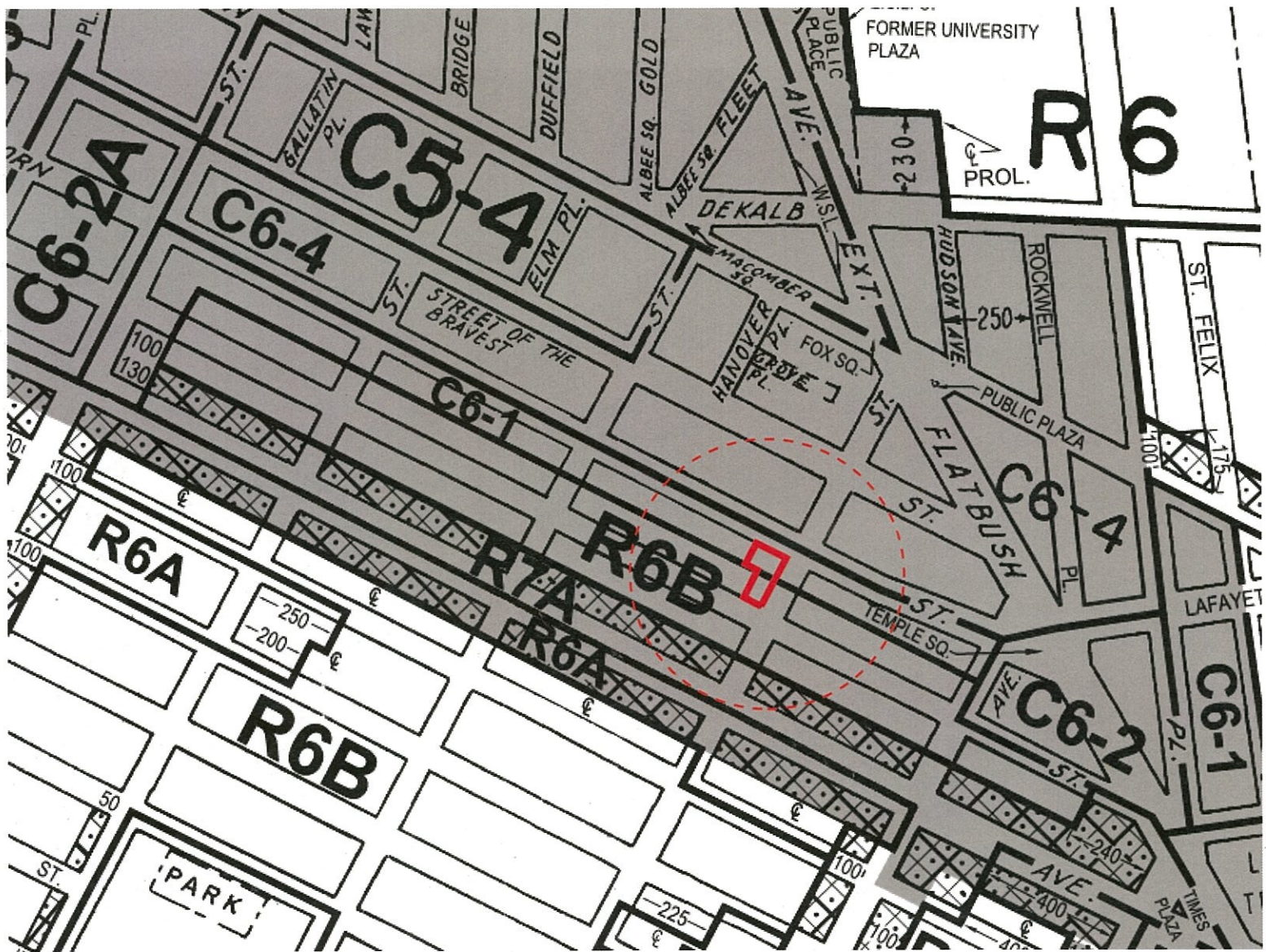


# SURROUNDING AREA





# ZONING MAP

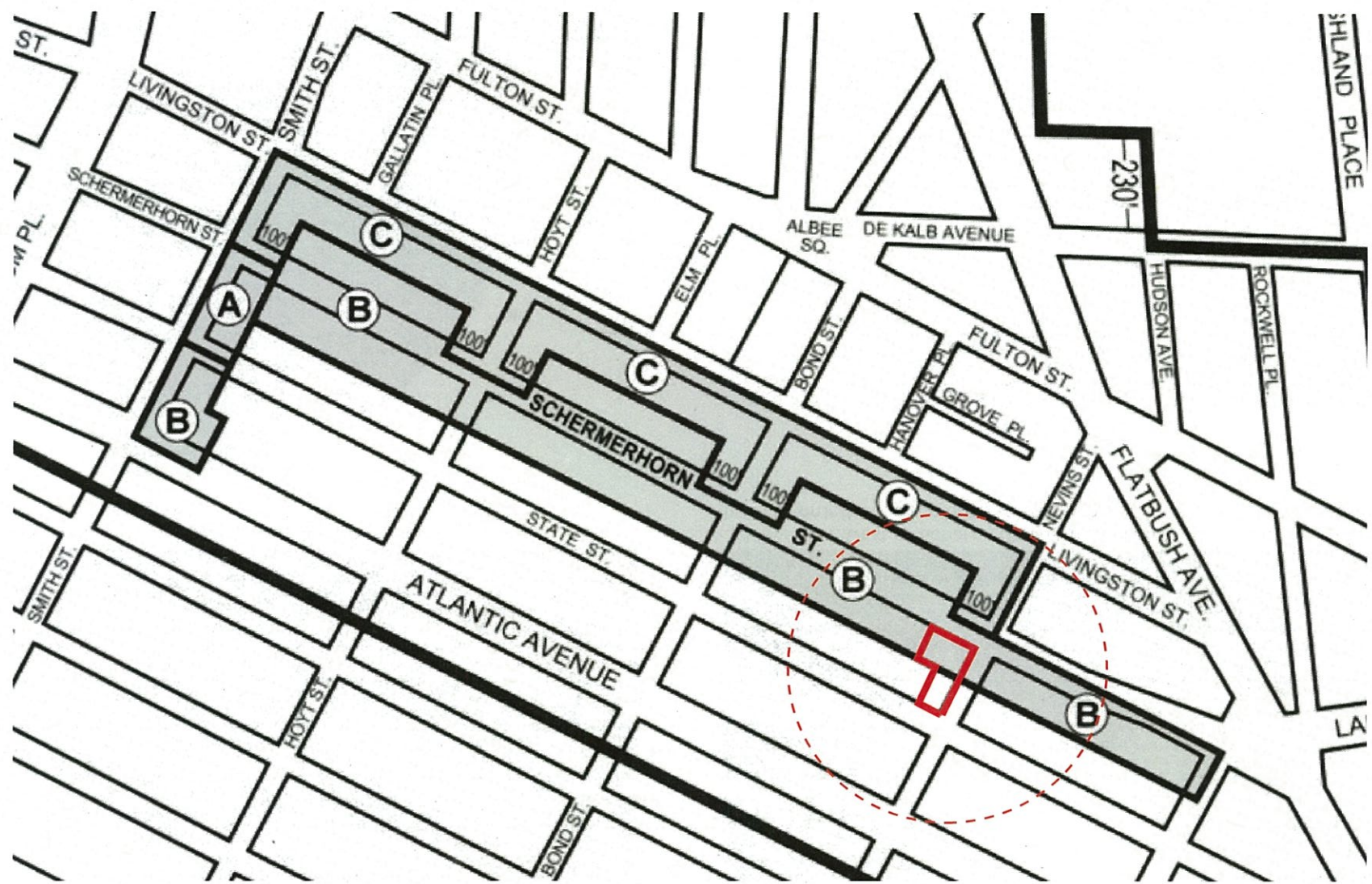



C1-1	C1-2	C1-3	C1-4	C1-5	C2-1	C2-2	C2-3	C2-4	C2-5

**NOTE:** Where no dimensions for zoning district boundaries appear on the zoning maps, such dimensions are determined in Article VII, Chapter 6 (Location of District Boundaries) of the Zoning Resolution.



# HEIGHT LIMITS



- Special Downtown Brooklyn District
- (A)** Schermerhorn Street Height Limitation Area: Height Restriction of 210 Feet
- (B)** Schermerhorn Street Height Limitation Area: Height Restriction of 140 Feet
- (C)** Schermerhorn Street Height Limitation Area: Height Restriction of 250 Feet
-  Flatbush Avenue Extension Height Limitation Area: Height Restriction of 400 Feet



# AREA PHOTOS



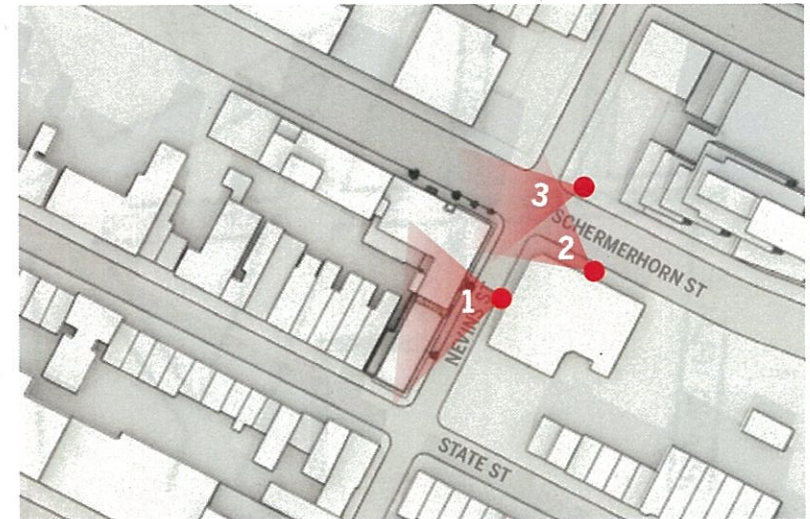
1. View West of East side of building from Nevins Street.  
Photograph taken on: 04/18/2014



2. View Northwest of Schermerhorn Street. Foreground showing north side of building on left, and Even Hotels on the right.  
Photograph taken on: 02/10/2016



3. Facing E. View of N side of building and adjacent Holiday Inn from corner of Schermerhorn St. and Nevins St.  
Photograph taken on: 02/10/2016



KEY PLAN



# AREA PHOTOS



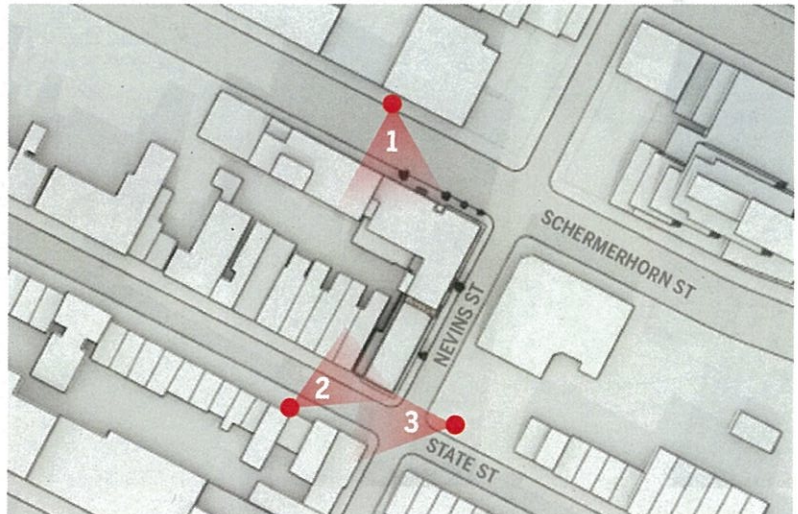
1. View South of West side of building from Schermerhorn St.  
Photograph taken on: 02/10/2016



2. View East of South side of building from State Street.  
Photograph taken on: 02/10/2016



3. View East of State Street. Foreground showing south corner of building and adjacent residences.  
Photograph taken on: 06/18/2016



KEY PLAN



# AREA PHOTOS



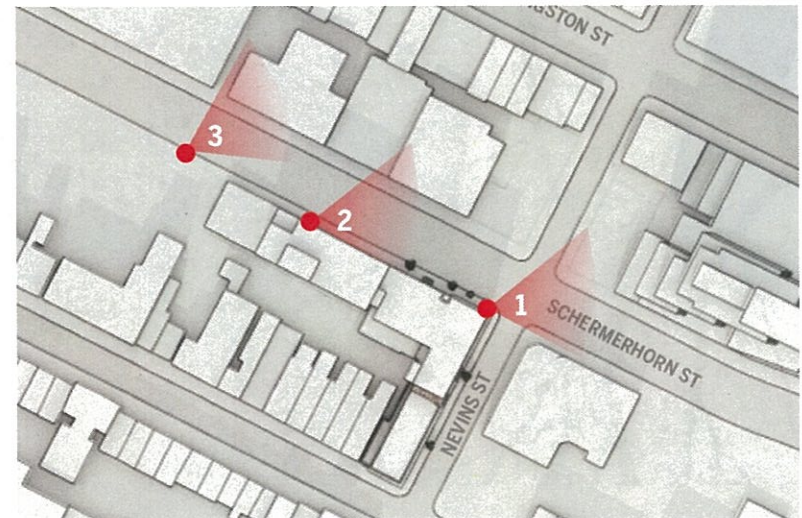
1. View East at Schermerhorn St. and Nevins St. intersection. Foreground shows two residential high-rises under construction. Photograph taken on: 02/10/2016



2. View East along Schermerhorn Street. Foreground shows a Hare Krishna Center, and an Even Hotels beyond. Photograph taken on : 02/10/2016



3. View East along Schermerhorn Street. Foreground shows a 7-story residential building. Photograph taken on: 06/18/2014



KEY PLAN



# AREA PHOTOS



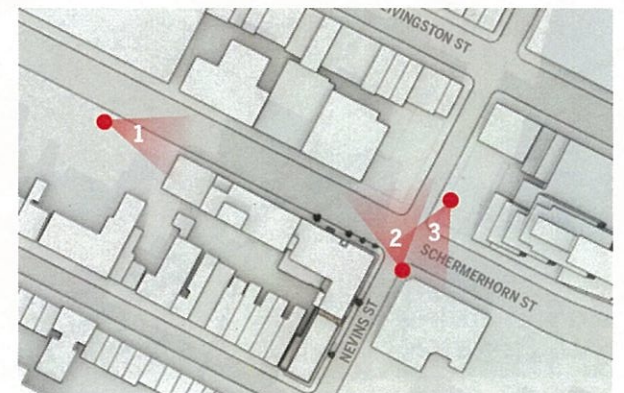
1. View Southeast of Holiday Inn West of site.  
Photograph taken on: 02/10/2016



2. View North of Even Hotels at intersection between Nevins Street and Schermerhorn Street.  
Photograph taken on: 02/10/2016



3. View South of Safe Horizon Child Advocacy building, directly opposite of project area.  
Photograph taken on: 02/10/2016









KEY PLAN



# LAND USE AND ZONING

## PROJECT

-  AREA OF REZONING
-  PROPOSED DEVELOPMENT SITE
-  600-FOOT RADIUS
-  SUBWAY ENTRANCE
-  SUBWAY LINES
-  172 BLOCK NO.
-  LOT LINE NO. OF STORIES
-  DIRECTION OF TRAFFIC











## ZONING

**R6B** EXISTING ZONING DESIGNATION

**C6-4** PROPOSED ZONING DESIGNATION

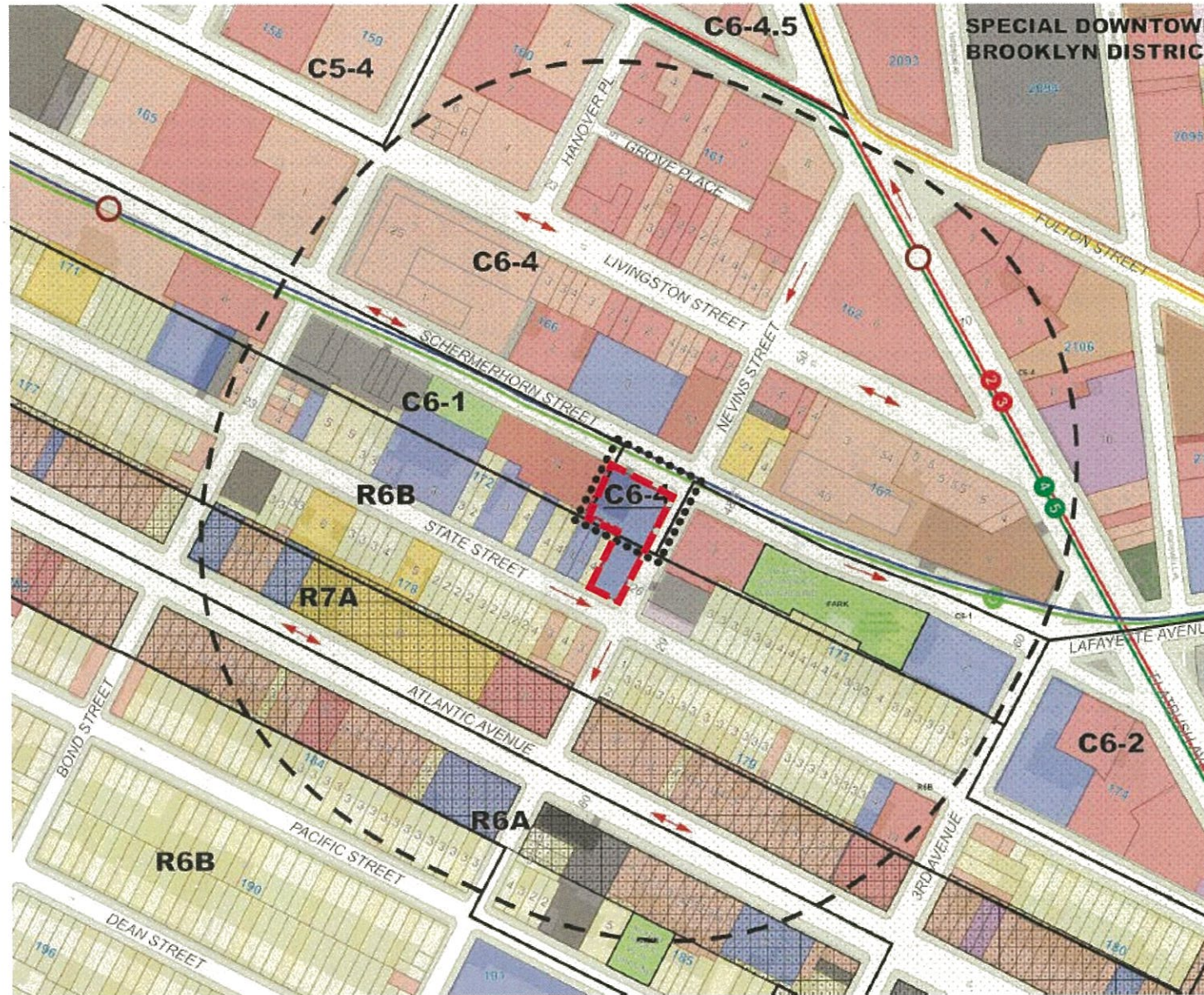
 DISTRICT BOUNDARY

 SPECIAL DOWNTOWN BROOKLYN DISTRICT

- |  |  |  |  |  |
|--|--|--|--|--|
|  C1-1 |  C1-2 |  C1-3 |  C1-4 |  C1-5 |
|  C2-1 |  C2-2 |  C2-3 |  C2-4 |  C2-5 |

## LAND USE

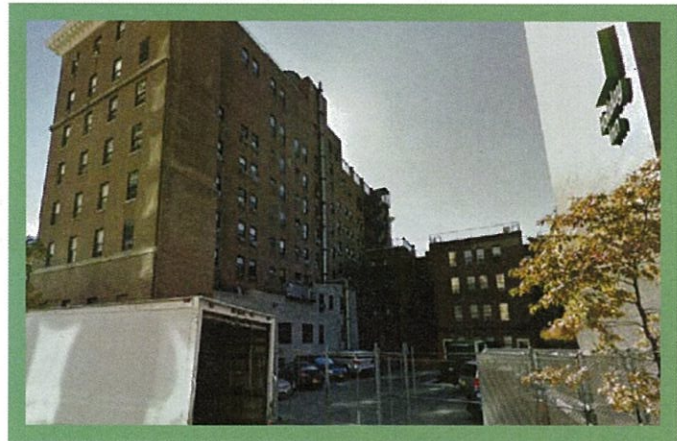
-  ONE & TWO FAMILY BUILDINGS
-  MULTI-FAMILY WALKUP BUILDINGS
-  MULTI-FAMILY ELEVATOR BUILDINGS
-  MIXED COMMERCIAL / RESIDENTIAL BUILDINGS
-  COMMERCIAL / OFFICE BUILDINGS
-  INDUSTRIAL / MANUFACTURING
-  TRANSPORTATION / UTILITY
-  PUBLIC FACILITIES & INSTITUTIONS
-  OPEN SPACE
-  PARKING FACILITIES
-  VACANT LAND



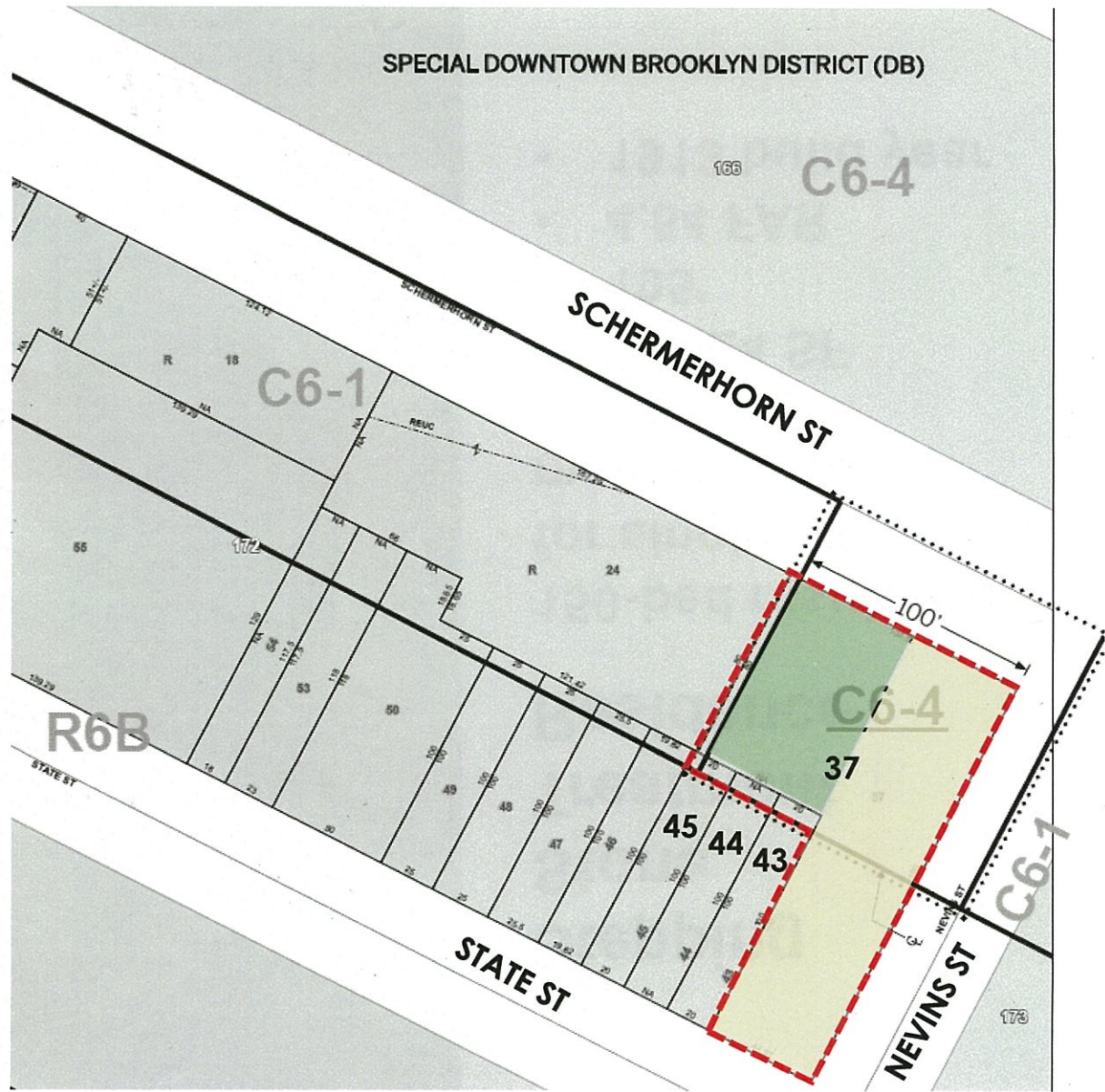


# PROJECT AREA

## SURFACE PARKING LOT



## EXISTING BUILDING







## Stepping Stone Treatment Residence

150-bed residence  
for single adults with  
mental illness.

- 58,024 SF
- 105'
- 4.54 FAR
- 1913 build year

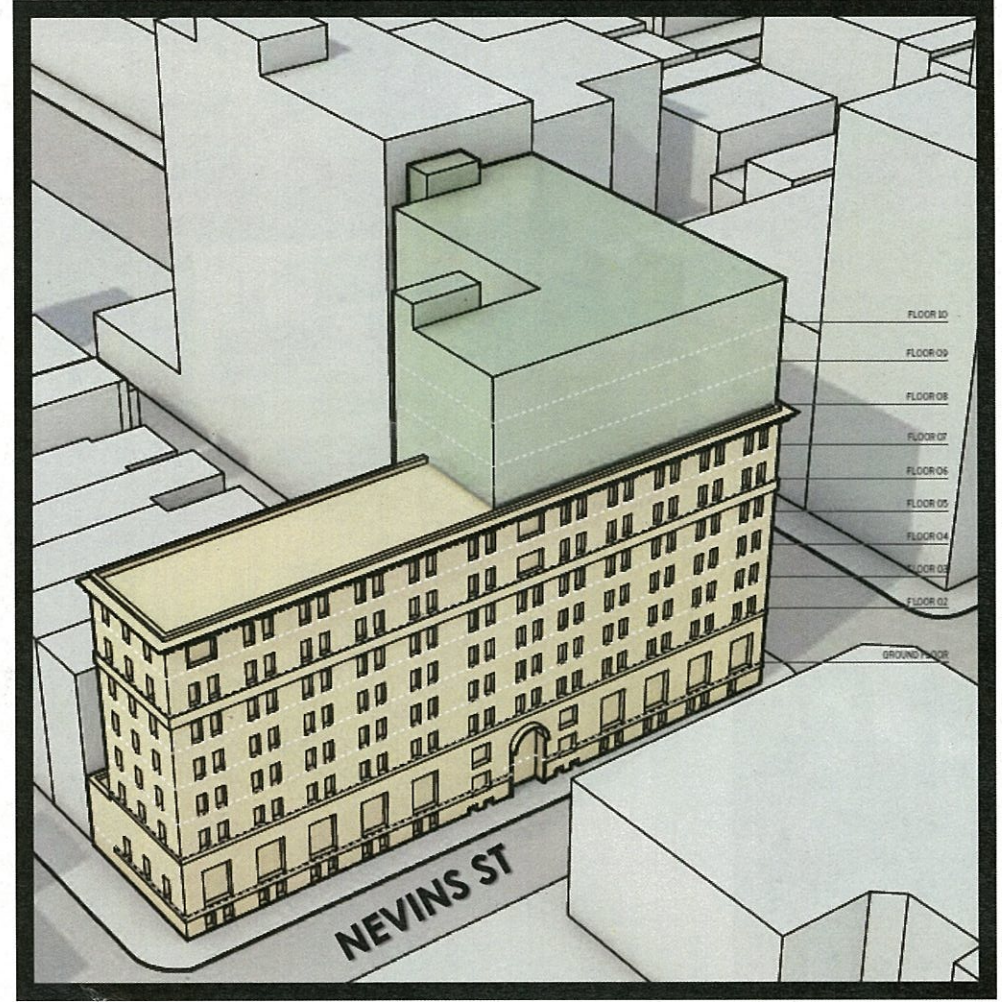
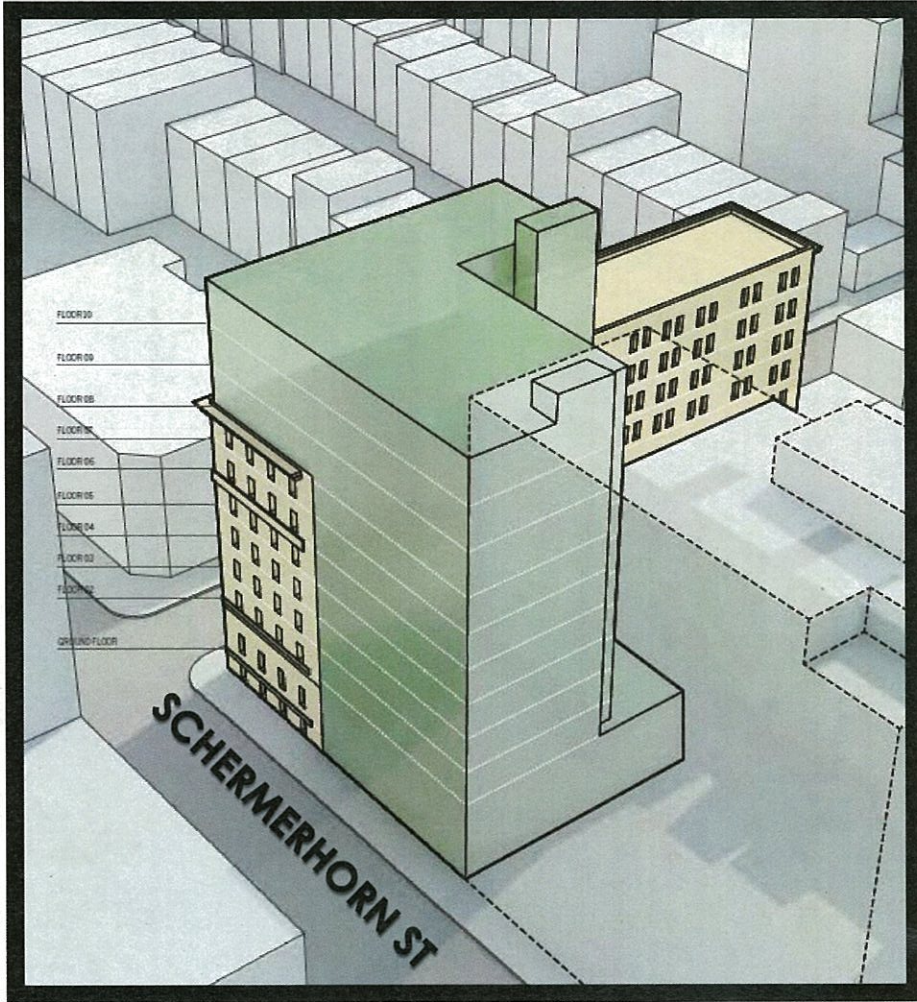


# PROPOSED DEVELOPMENT





# ENLARGEMENT AXONS

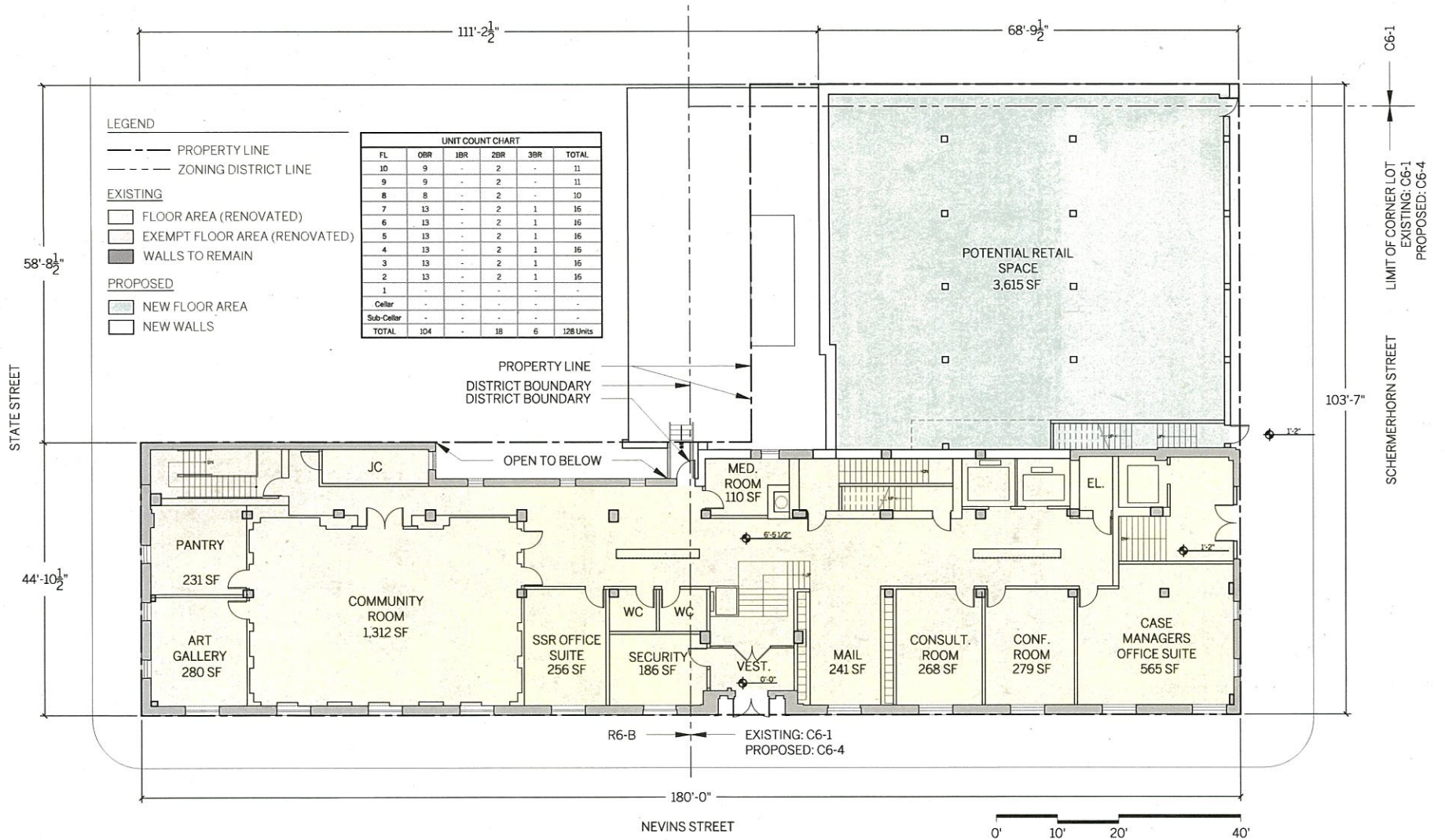




# 50 NEVINS STREET REZONING







# 40 Wooster Street

## New York, NY 10013

### DRAWING LIST:

- CPC-1 COVER SHEET & INFORMATION
- CPC-2 ZONING ANALYSIS
- CPC-3 SITE PLAN
- CPC-4 PROPOSED CELLAR FLOOR PLAN
- CPC-5 PROPOSED FIRST FLOOR PLAN
- CPC-6 PROPOSED SECOND FLOOR PLAN
- CPC-7 PROPOSED THIRD FLOOR PLAN
- CPC-8 PROPOSED FOURTH FLOOR PLAN
- CPC-9 PROPOSED FIFTH FLOOR PLAN
- CPC-10 PROPOSED SIXTH FLOOR PLAN
- CPC-11 PROPOSED ROOF PLAN
- CPC-12 PROPOSED BULKHEAD FLOOR PLAN
- CPC-13 EXISTING SOUTH ELEVATION
- CPC-14 EXISTING EAST & WEST ELEVATION
- CPC-15 BUILDING SECTION SECTION A-A
- CPC-16 BUILDING SECTION SECTION B-B

APPLICATION TO CITY PLANNING COMMISSION PURSUANT TO SECTION 74-11 Z.R FOR A SPECIAL PERMIT FOR A CHANGE OF USE ON THE FIRST FLOOR AND PARTIAL CELLAR FROM COMMERCIAL TO RETAIL, USE GROUP 6, AND TO CHANGE THE USE ON THE SECOND THROUGH SIXTH FLOOR FROM COMMERCIAL USE TO 4 UNITS OF RESIDENTIAL USE, USE GROUP 2.

### BUILDING INFORMATION

ADDRESS	40 WOOSTER, NEW YORK, NY 10013
FLOORS	CELLAR THROUGH SIXTH FLOOR & ROOF TERRACE
LOT:	34
BLOCK:	475
ZONE:	M1-5B
MAP #	12A
BIN #	1007076
C.B.	102
OCCUPANCY	USE GROUP 6 (RETAIL) & USE GROUP 2 (FOUR RESIDENTIAL UNITS)
LANDMARK	YES
CONSTRUCTION CLASS:	OLD CODE 3: NON FIRE PROOF BUILDINGS BUILDING CODE REVIEW UNDER "PRIOR TO 1968 CODE" M.D.L ARTICLE 7-B

Yossi Melamed, R.A.

Melamed Architect, P.C.  
401 Broadway, 5th Floor  
New York, NY 10013  
(T) 212-203-5053 (T) 212-749-5050  
yosef@melamedarchitect.com  
www.melamedarchitect.com

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### Melamed Architect PC

Yossi Melamed, R.A.  
500 Broadway, Suite # 500  
New York, NY 10013  
Tel: 212-203-5053  
Tel: 212-749-5050  
yosef@melamedarchitect.com  
www.melamedarchitect.com



DATE	REVISION NO	COPY TO	COORDINATION REVIEW	APPROVAL	IN CONSTRUCTION
05.27.2014	1	Progress set			
08.05.2014	2	D.O.B Filing			
10.18.2014	3	D.O.B Review			
11.24.2014	4	ZRD1			
02.05.2015	5	D.O.B Review			
06.25.2015	6	LPC Approval			
07.14.2015	7	CPC Review			
07.22.2015	8	CPC Review			
09.15.2015	9	CPC Review			
10.05.2016	10	CPC Review			
12.15.2016	11	CPC Review			
01.23.2016	12	CPC Review			

### 40 Wooster Street Lofts

#### New York, NY 10013



### NOTICE

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### DRAWING TITLE

TITLE SHEET, DRAWING LIST AND GENERAL INFORMATION

### DRAWING NUMBER

CPC-1

DATE  
2015

SCALE  
AS NOTED



LIST OF REQUIRED ACTIONS:  
PURSUANT TO ZR SECTION 74-711 TO MODIFY 42-10 TO ALLOW UG 2 RESIDENTIAL USE, AND  
42-14(D)(2)(b) TO ALLOW UG 6 RETAIL USE BELOW THE LEVEL OF THE SECOND STORY.

BLOCK / LOT 475 / 34  
ADDRESS 40 WOOSTER STREET, NEW YORK NY 10013  
LOT AREA 2,553.09  
ZONING MAP 12A  
ZONING DISTRICT M1-5B  
SPECIAL/HISTORIC DISTRICT SOHO CAST IRON DISTRICT  
COMMUNITY DISTRICT 2

ZR	ITEM/DESCRIPTION	REQUIRED/PERMITTED	PROPOSED		COMPLIANCE/NOTES
			EXISTING	PROPOSED NEW	
<b>USE</b>					
42-00	USES	USE GROUPS 3A, 4-14, 16, & 17. BELOW THE FLOOR OF THE 2ND STORY: 7,9,11,16,17A,17B,17C,17E	UG 6	UG 2 AT ALL LEVELS UG 6 AT CELLAR, GROUND FLOOR	* CPC SPECIAL PERMIT CPC SPECIAL PERMIT CPC SPECIAL PERMIT
<b>BULK</b>					
	FAR				
43-12	RETAIL	5	5.42	0.72	* CPC SPECIAL PERMIT
43-12	RESIDENTIAL	N/A	N/A	4.53	* CPC SPECIAL PERMIT
	MAX FOR ZONING LOT	5	5.42	5.25	EXISTING NON COMPLIANCE CONDITION
<b>FLOOR AREA</b>					
43-12	COMMERCIAL		13,849 SF	1,833.25 SF	CPC SPECIAL PERMIT
43-12	RESIDENTIAL	N/A	0.00	11,569.25	CPC SPECIAL PERMIT
	MAX FOR ZONING LOT		TOTAL OF 13,402.5 SF - PROPOSED FLOOR AREA IS LESS THAN EXISTING FLOOR AREA OF 13,849 SF THEREFORE NOT INCREASING DEGREE OF NON COMPLIANCE PER ZD1#33566		
<b>YARDS</b>					
43-25	SIDE YARD	NONE REQUIRED	NONE PROVIDED		
43-26 / 54-00	REAR YARD: FIRST FLOOR	20'	4.30' ON 1ST FL	NO CHANGE	EXISTING NON COMPLIANCE CONDITION
	REAR YARD: AT SECOND FLOOR	20'	10.70' ON 2ND FL	NO CHANGE	
	REAR YARD: AT ROOF TERRACE	20'	26'-9" ON TERRACE FL	PROPOSED	COMPLY
<b>HEIGHT &amp; SETBACK</b>					
43-43	MAX. STREET WALL HEIGHT	85' OR 6 STORIES,WHICHEVER IS LESS	75'-0" OR SIX STORIES	74'-6"	COMPLY
	REQ. MIN. SETBACK@MAX. STREETWALL HT. (NARROW STREET)	20'	N/A	33'-8"	COMPLY
	MAX. BUILDING HEIGHT	SKY EXPOSURE 2.7 TO 1 ABOVE SIX STORY	75'-6"	83'-11"	COMPLY
44-21	PARKING SPACES REQUIRED:	NO PARKING REQUIRED FOR EXISTING BUILDING PRIOR TO 1961	0	0	COMPLY / NO CHANGE
44-60	BICYCLE PARKING	NO BICYCLE PARKING REQUIRED FOR LESS THAN 10 DWELLING UNITS	0	0	COMPLY / NO CHANGE
43-02	STREET TREES	ONE TREE REQUIRED PER 25' STREET FRONTAGE	0	NO CHANGE	OWNER TO PAY TREE FUND INSTEAD

**FLOOR AREA SCHEDULE**

FLOOR	EXISTING USE	PROPOSED USE	USE GROUP	EXISTING GROSS F.A.	EXISTING ZONING F.A (SF)	PROPOSED GROSS F.A.	F.A DEDUCTION	ZONING F.A (SF)
CELLAR (UTILITIES,STORAGE)	UTILITIES	ACCESSORY USE	6	2598	0	1224	0	0
CELLAR (STORAGE)	STORAGE	RESIDENTIAL STORAGE	2	0	0	1374	0	0
1ST FLOOR (SHOWROOM)	UG 10 SHOWROOM	RETAIL	6	2388	2388	1850	16.75	1833.25
1ST FLOOR (RESIDENTIAL)	N/A	RESIDENTIAL	2	0	0	538	0	538
2ND FLOOR	UG 10 SHOWROOM	RESIDENTIAL	2	2262	2262	2262	12.5	2249.5
3RD FLOOR	UG 6 OFFICES	RESIDENTIAL	2	2262	2262	2262	14.5	2247.5
4TH FLOOR	UG 6 OFFICES	RESIDENTIAL	2	2262	2262	2262	12.5	2249.5
5TH FLOOR	UG 6 OFFICES	RESIDENTIAL	2	2262	2262	2262	14.75	2247.25
6TH FLOOR	UG 6 OFFICES	RESIDENTIAL	2	2262	2262	1727	12.5	1714.5
ROOF	N/A	RESIDENTIAL	2	151	151	477	154	323
TOTAL				16447	13849	16238	237.5	13402.5

\* PROPOSED FLOOR AREA IS LESS THAN EXISTING FLOOR AREA THEREFORE NOT INCREASING DEGREE OF NON COMPLIANCE PER ZD1#33566  
EXISTING FLOOR AREA IS 13,849 SF < PROPOSED FLOOR AREA IS 13,402 SF

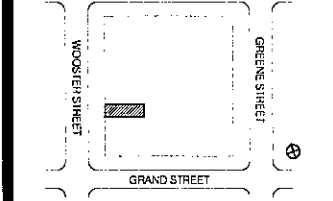
Melamed Architect PC

Yossi Melamed, R.A.  
500 Broadway, Suite # 500  
New York, NY 10013  
Tel. 212-203-5053  
Tel. 212-749-5050  
yosef@melamedarchitect.com  
www.melamedarchitect.com



DATE	REVISION NO.	DESCRIPTION	COORDINATION REVIEW	APPROVAL	NO.	CONSTRUCTION
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**40 Wooster Street Lofts**  
New York, NY 10013



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DRAWING TITLE  
**ZONING ANALYSIS**

DRAWING NUMBER  
**CPC-2**

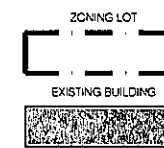
DATE 2015 SCALE AS NOTED

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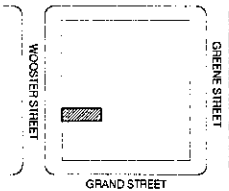


DATE	REVISION NO	COPY TO	COORDINATION	REVIEW	APPROVAL	BY	CONSTRUCTION
05.27.2014	1	Progress set					
08.05.2014	2	D.O.B Filing					
10.18.2014	3	D.O.B Review					
11.24.2014	4	ZPD1					
02.05.2015	5	D.O.B Review					
06.25.2015	6	LPC Approval					
07.14.2015	7	CPC Review					
07.22.2015	8	CPC Review					
09.15.2016	9	CPC Review					
10.05.2016	10	CPC Review					
12.15.2016	11	CPC Review					
01.23.2018	12	CPC Review					

LEGEND



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New York, NY 10013



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DRAWING TITLE

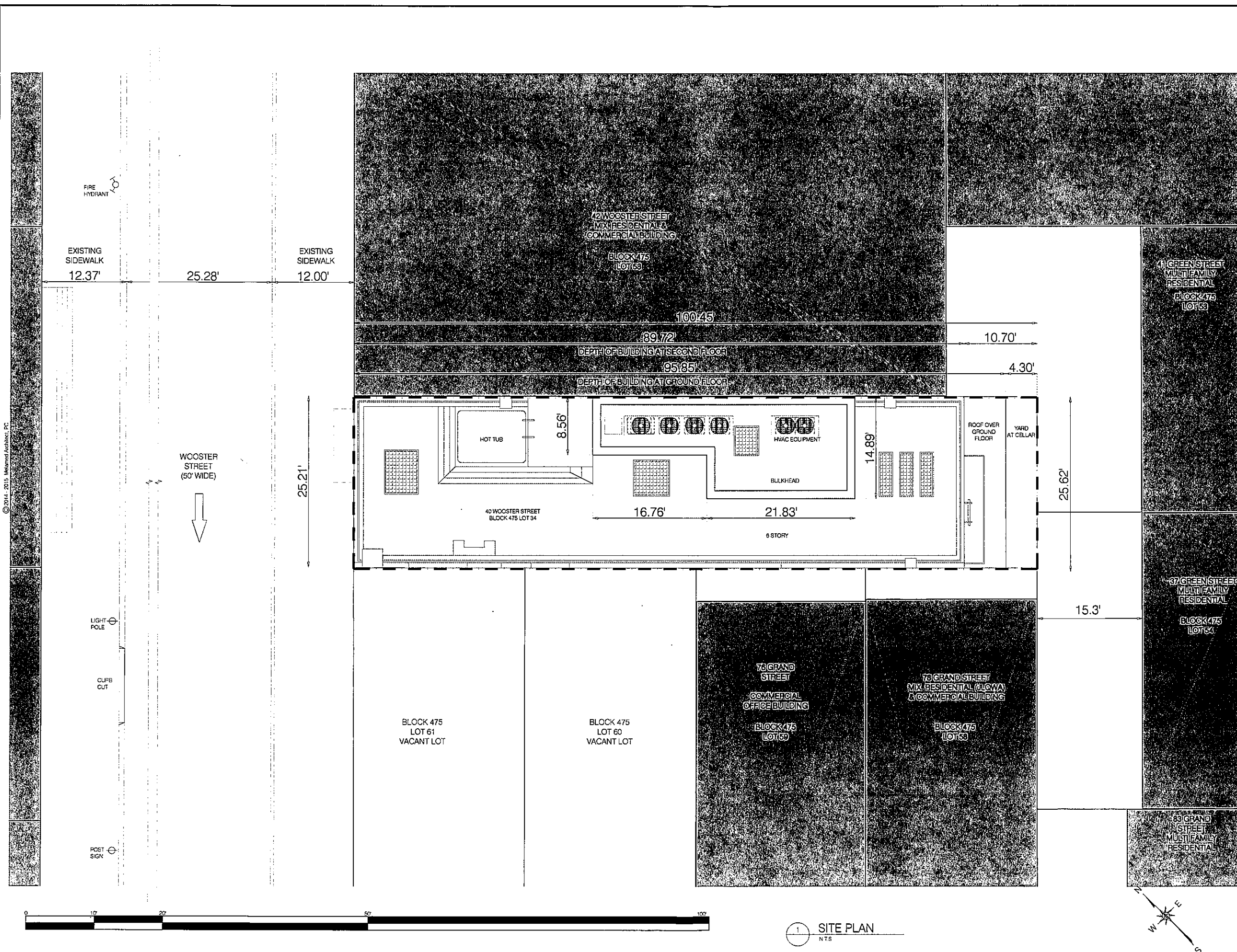
SITE PLAN

DRAWING NUMBER

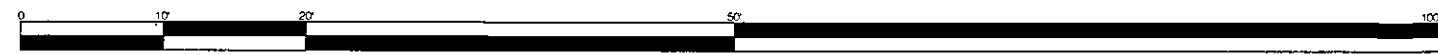
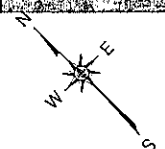
CPC-3

DATE  
2015

SCALE  
AS NOTED



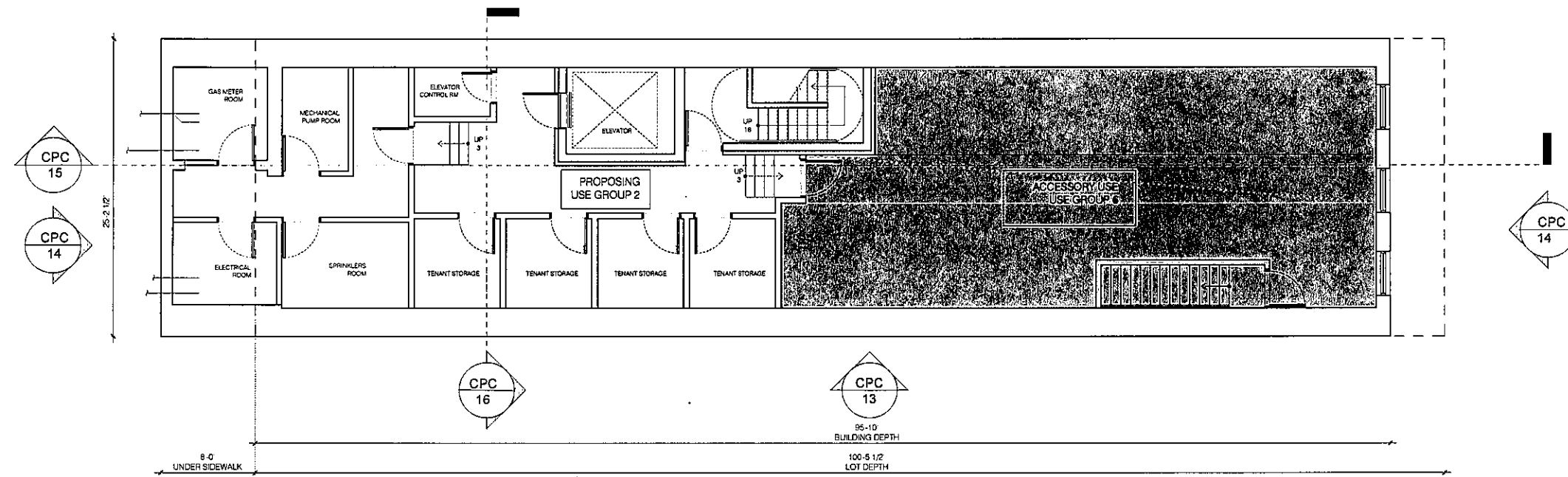
1 SITE PLAN  
NTS



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DATE	REVISION NO	DESCRIPTION	COORDINATOR	APPROVAL	BID
05/27/2014	1	Progress set			
08/05/2014	2	D.O.B Filing			
10/18/2014	3	D.O.B Review			
11/24/2014	4	ZFD1			
02/05/2015	5	D.O.B Review			
06/25/2015	6	LPC Approval			
07/14/2015	7	CPC Review			
07/22/2015	8	CPC Review			
09/15/2016	9	CPC Review			
10/05/2016	10	CPC Review			
12/15/2016	11	CPC Review			
01/23/2016	12	CPC Review			

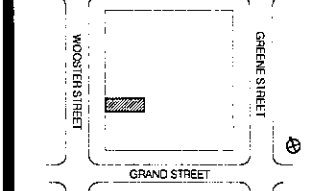


1 CELLAR FLOOR PLAN  
SCALE 3/16" = 1'-0"

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LEGEND	NET ZONING FLOOR AREA	S.F. CELLAR ONLY
[White Box]	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 2 IN M1-5B ZONING DISTRICT	N/A
[Hatched Box]	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 6 IN M1-5B ZONING DISTRICT	N/A
[Black Box]	AREA OF MECHANICAL DEDUCTIONS	N/A

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 DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY AND BE RESPONSIBLE FOR ALL MEASUREMENTS AND CONDITIONS PRIOR TO BEGINNING ANY WORK.  
 REPORT ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.  
 ALL WORK, MATERIALS, ACCESSORIES AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CODE REQUIREMENTS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.  
 CONTRACTORS OR OTHERS WHOSE NAMES APPEAR ON THIS DRAWING SHALL BEAR PROFESSIONAL AND LEGAL LIABILITY FOR THE QUALITY OF ITS USE IN LIEU OF THE ARCHITECT.  
 THE ARCHITECT HAS NOT BEEN RETAINED TO SUPERVISE THE CONSTRUCTION OF THIS PROJECT.



DRAWING TITLE  
PROPOSED CELLAR FLOOR PLAN

DRAWING NUMBER  
**CPC-4**

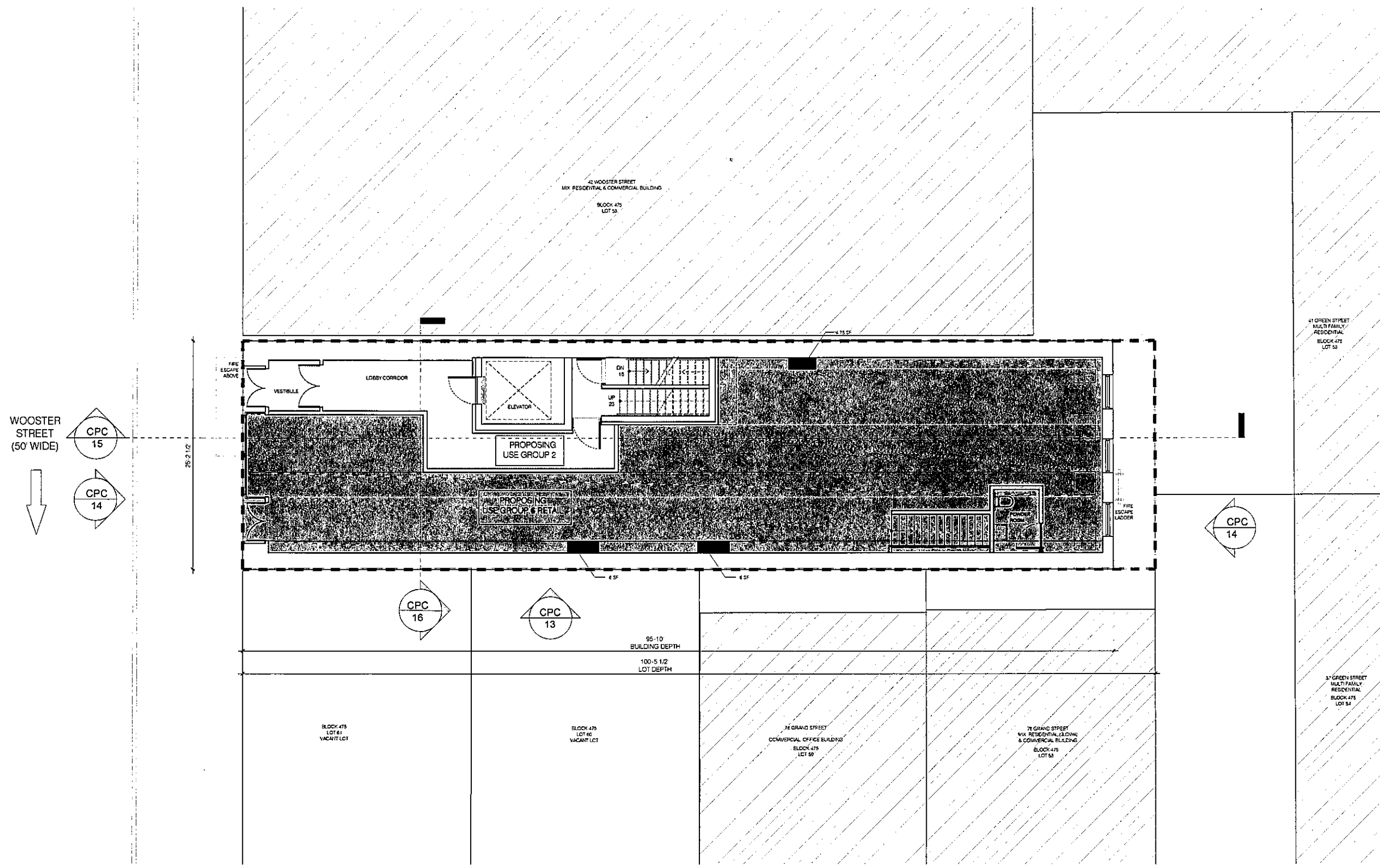
DATE: 2015 SCALE: AS NOTED



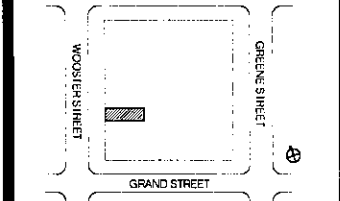


DATE	REVISION NO	COPY TO	COORDINATION REVIEW	APPROVAL	BID	CONSTRUCTION
05.27.2014	1	Progress set				
08.05.2014	2	D.O.B Filing				
10.18.2014	3	D.O.B Review				
11.24.2014	4	ZFD1				
02.05.2015	5	D.O.B Review				
06.25.2015	6	LPC Approval				
07.14.2015	7	CPC Review				
07.22.2015	8	CPC Review				
09.15.2016	9	CPC Review				
10.05.2016	10	CPC Review				
12.15.2016	11	CPC Review				
01.29.2016	12	CPC Review				

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**FIRST FLOOR PLAN**  
SCALE 3/16 1-0

LEGEND	NET ZONING FLOOR AREA
	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 2 IN M1-5B ZONING DISTRICT 538 S.F.
	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 6 IN M1-5B ZONING DISTRICT 1850 S.F.
	AREA OF MECHANICAL DEDUCTIONS 16.75 S.F.
	EXISTING BUILDINGS

DRAWING TITLE  
**PROPOSED FIRST FLOOR PLAN**

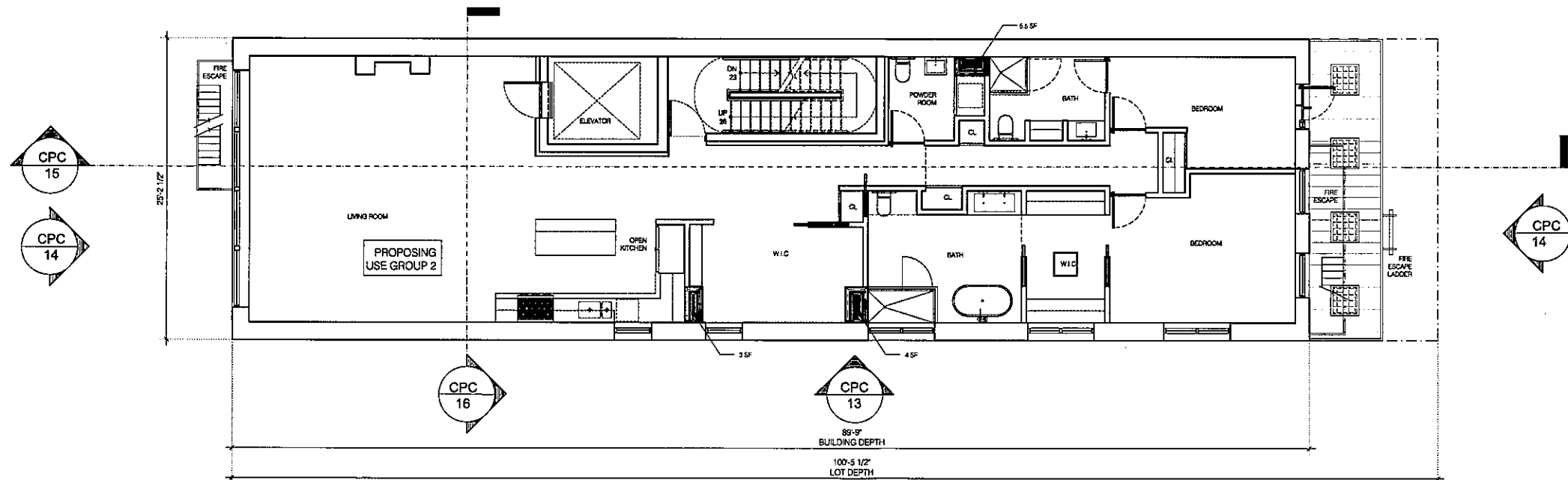
DRAWING NUMBER  
**CPC-5**

DATE  
2015

SCALE  
AS NOTED



DATE	REVISION NO.	COPY TO	COORDINATION	REVIEW	APPROVAL	ISS.	CONSTRUCTION
05.27.2014	1	Progress set					
08.05.2014	2	D.O.B Filing					
10.18.2014	3	D.O.B Review					
11.24.2014	4	ZFD1					
02.05.2015	5	D.O.B Review					
06.25.2015	6	LPC Approval					
07.14.2015	7	CPC Review					
07.22.2015	8	CPC Review					
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12.15.2016	11	CPC Review					
01.23.2017	12	CPC Review					



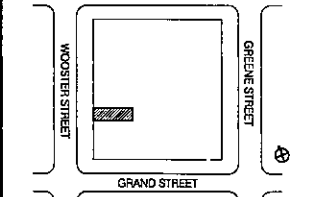
1 PROPOSED SECOND FLOOR PLAN  
SCALE: 3/16"=1'-0"

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\* INTERIOR PARTITION FOR ILLUSTRATIVE PURPOSES ONLY

LEGEND	NET ZONING FLOOR AREA
	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 2 IN M1-5B ZONING DISTRICT 2249.5 S.F.
	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 6 IN M1-5B ZONING DISTRICT 0 S.F.
	AREA OF MECHANICAL DEDUCTIONS 12.5 S.F.

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ALL WORK, MATERIALS, ASSEMBLIES AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH CODE REQUIREMENTS OF ALL GOVERNMENTAL AGENCIES INVOLVED IN THE PROJECT.  
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DRAWING TITLE:

PROPOSED SECOND FLOOR PLAN

DRAWING NUMBER:

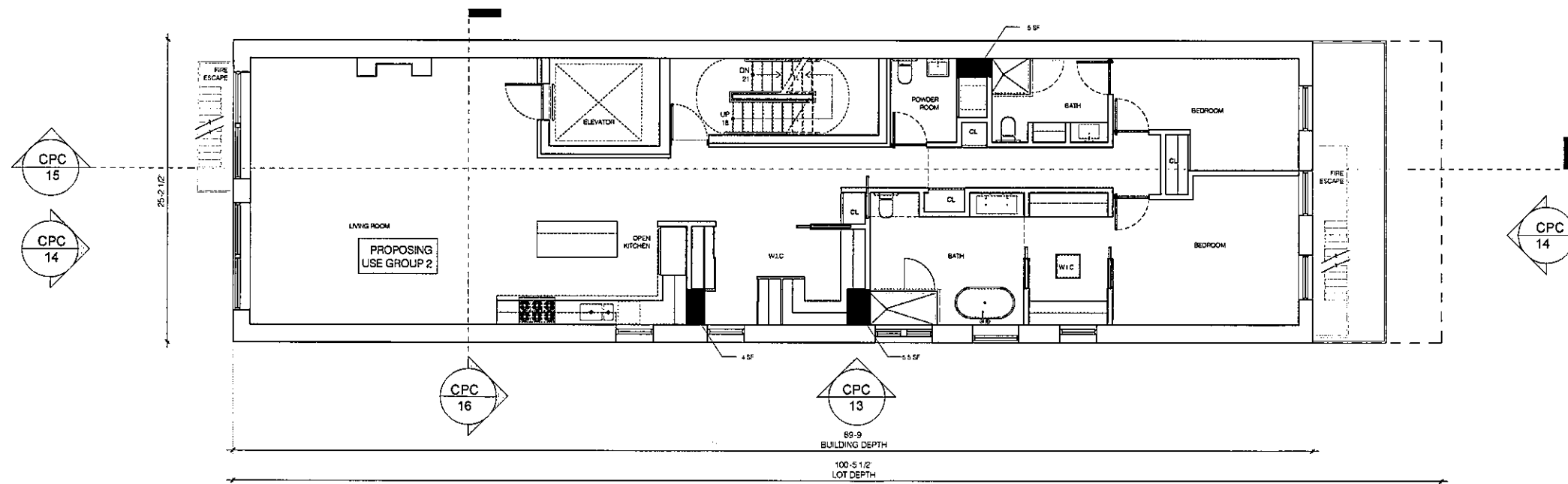
CPC-6

DATE:  
2015

SCALE:  
AS NOTED



DATE	REVISION NO	DESCRIPTION	COORDINATION REVIEW	APPROVAL	CONSTRUCTION
05.27.2014	1	Progress set			
08.05.2014	2	D.O.B Filing			
10.18.2014	3	D.O.B Review			
11.24.2014	4	ZFD1			
02.05.2015	5	D.O.B Review			
06.25.2015	6	LPC Approval			
07.14.2015	7	CPC Review			
07.22.2015	8	CPC Review			
09.15.2016	9	CPC Review			
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01.23.2016	12	CPC Review			

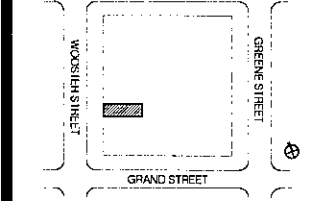


1 THIRD FLOOR PLAN  
SCALE 3/16" = 1'-0"

\* INTERIOR PARTITION FOR ILLUSTRATIVE PURPOSES ONLY

LEGEND	NET ZONING FLOOR AREA
[White Box]	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 2 IN M1-5B ZONING DISTRICT 2247.5 S.F.
[Hatched Box]	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 6 IN M1-5B ZONING DISTRICT 0 S.F.
[Black Box]	AREA OF MECHANICAL DEDUCTIONS 14.5 S.F.

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ALL WORK, MATERIALS, ASSEMBLIES AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING AGENCIES AND APPLICABLE CODES.  
CONSULTANTS OR ENGINEERS WHOSE NAMES APPEAR ON THIS DRAWING SHALL BE RESPONSIBLE FOR THEIR RESPECTIVE LEGAL LIABILITY FOR THE DRAWING AND ITS USE BY ANY PARTY.  
THE ARCHITECT HAS NOT BEEN RETAINED TO SUPERVISE THE CONSTRUCTION OF THIS PROJECT.



DRAWING TITLE  
PROPOSED THIRD FLOOR PLAN

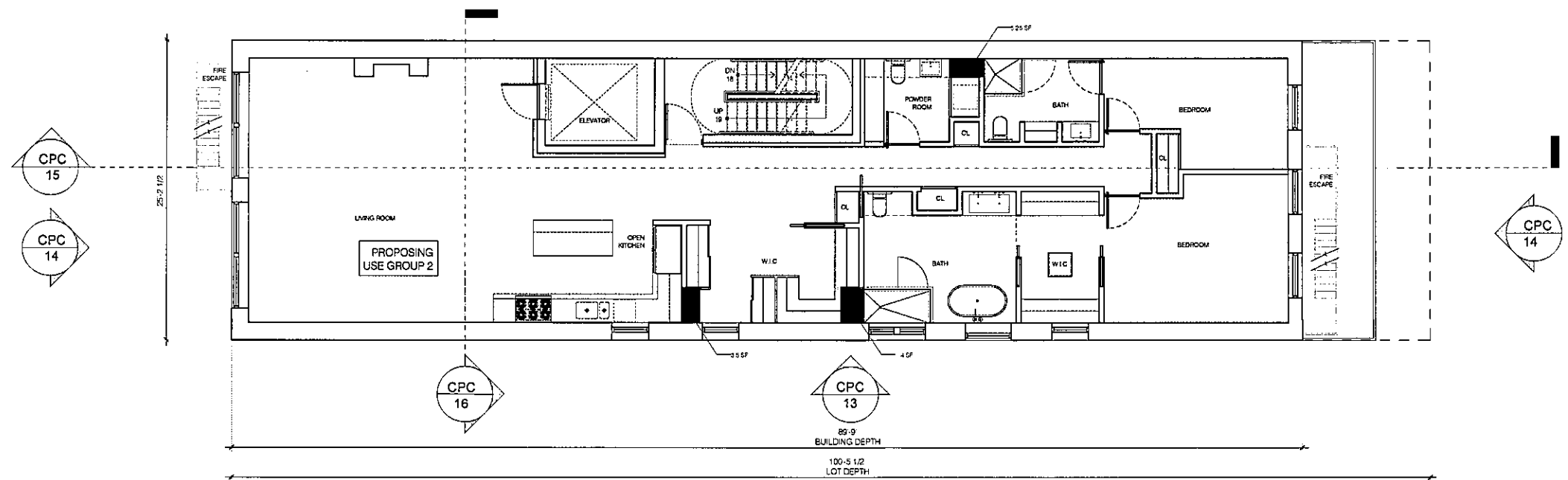
DRAWING NUMBER  
CPC-7

DATE: 2015  
SCALE: AS NOTED





DATE	REVISION NO	COPY TO	COORDINATION	REVIEW	APPROVAL	CONSTRUCTION
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06.05.2014	2	D.O.B Filing				
10.18.2014	3	D.O.B Review				
11.24.2014	4	ZRD1				
02.05.2015	5	D.O.B Review				
06.26.2015	6	LPC Approval				
07.14.2015	7	CPC Review				
07.22.2015	8	CPC Review				
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01.23.2016	12	CPC Review				

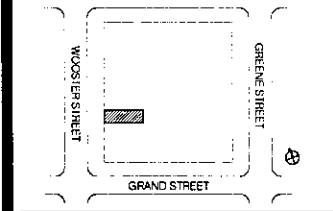


1 FOURTH FLOOR PLAN  
SCALE 3/16" = 1'-0"

\* INTERIOR PARTITION FOR ILLUSTRATIVE PURPOSES ONLY

LEGEND	NET ZONING FLOOR AREA
[White Box]	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 2 IN M1-5B ZONING DISTRICT 2249.5 S.F.
[Hatched Box]	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 6 IN M1-5B ZONING DISTRICT 0 S.F.
[Black Box]	AREA OF MECHANICAL DEDUCTIONS 12.5 S.F.

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New York, NY 10013



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CONTRACTOR OR ENGINEER WHOSE NAME APPEARS ON THIS DRAWING SHALL BEAR PROFESSIONAL AND LEGAL LIABILITY FOR THE DRAWING AND ITS USE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.  
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DRAWING TITLE

PROPOSED FOURTH FLOOR PLAN

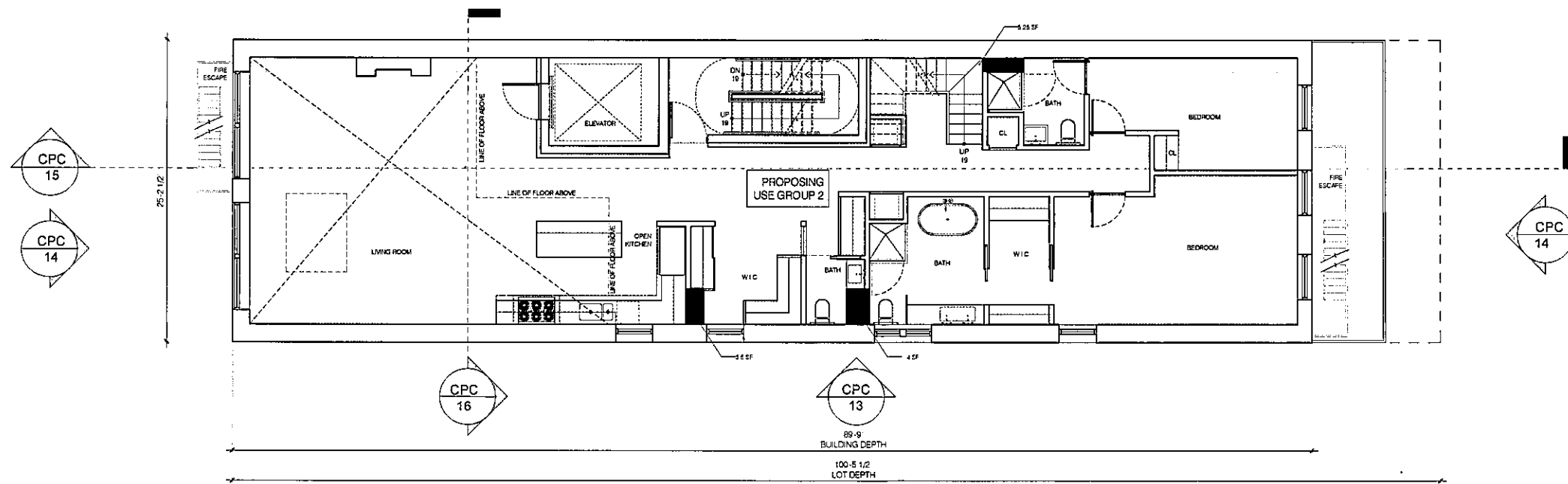
DRAWING NUMBER

CPC-8

DATE 2015 SCALE AS NOTED



DATE	REVISION NO	DESCRIPTION	COORDINATION	APPROVAL	NO
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06.05.2014	2	D.O.B Filing			
10.18.2014	3	D.O.B Review			
11.24.2014	4	ZFD1			
02.05.2015	5	D.O.B Review			
06.25.2015	6	LPC Approval			
07.14.2015	7	CPC Review			
07.22.2015	8	CPC Review			
09.15.2016	9	CPC Review			
10.05.2016	10	CPC Review			
12.15.2016	11	CPC Review			
01.23.2016	12	CPC Review			

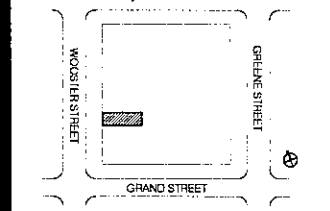


1 FIFTH FLOOR PLAN  
 SCALE 3/16" = 1'-0"

\* INTERIOR PARTITION FOR ILLUSTRATIVE PURPOSES ONLY

LEGEND	NET ZONING FLOOR AREA
[Patterned Box]	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 2 IN M1-5B ZONING DISTRICT 2247.25 S.F.
[Patterned Box]	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 6 IN M1-5B ZONING DISTRICT 0 S.F.
[Solid Black Box]	AREA OF MECHANICAL DEDUCTIONS 14.75 S.F.

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 ALL WORK, MATERIALS, ASSEMBLIES AND CONSTRUCTION SHALL BE IN COMPLIANCE WITH CODE REQUIREMENTS OF ALL GOVERNING AGENCIES INVOLVED.  
 COOPERATION OF ENGINEERS WHOSE NAMES APPEAR ON THIS DRAWING SHALL BE A PROFESSIONAL AND LEGAL LIABILITY FOR THE DRAWING AND ITS USE IN LIEU OF THE ARCHITECT.  
 THE ARCHITECT HAS NOT BEEN RETAINED TO SUPERVISE THE CONSTRUCTION OF THIS PROJECT.



DRAWING TITLE

PROPOSED FIFTH FLOOR PLAN

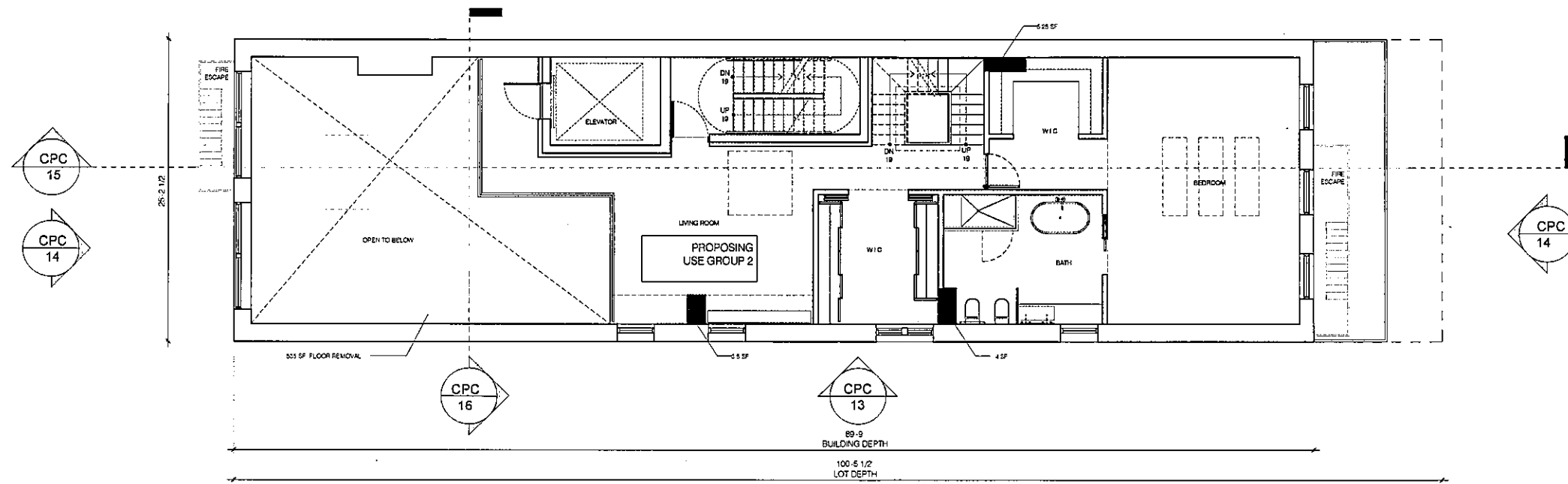
DRAWING NUMBER

CPC-9

DATE 2015 SCALE AS NOTED



DATE	REVISION	DESCRIPTION	COORDINATION REVIEW	APPROVAL	BT	CONSTRUCTION
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08.05.2014	2	D.O.B Filing	X			
10.18.2014	3	D.O.B Review	X			
11.24.2014	4	ZRD1	X			
02.05.2015	5	D.O.B Review	X			
06.25.2015	6	LPC Approval	X			
07.14.2015	7	CPC Review	X			
07.22.2015	8	CPC Review	X			
09.15.2015	9	CPC Review	X			
10.05.2015	10	CPC Review	X			
12.15.2015	11	CPC Review	X			
01.23.2016	12	CPC Review	X			



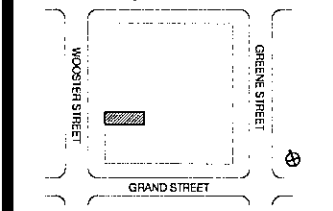
1 SIXTH FLOOR PLAN  
SCALE: 3/16"=1'-0"

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\* INTERIOR PARTITION FOR ILLUSTRATIVE PURPOSES ONLY

LEGEND	NET ZONING FLOOR AREA
	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 2 IN M1-5B ZONING DISTRICT 1714.5 S.F.
	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 6 IN M1-5B ZONING DISTRICT 0 S.F.
	AREA OF MECHANICAL DEDUCTIONS 12.5 S.F.

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ALL WORK, MATERIALS, ACCESSORIES AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.  
CONTRACTOR OR OTHERS WHOSE NAMES APPEAR ON THIS DRAWING SHALL BEAR RESPONSIBILITY FOR THE LEGAL LIABILITY FOR THE DRAWING AND ITS USE IN FULL OF THE ARCHITECT.  
THE ARCHITECT HAS NOT BEEN RETAINED TO SUPERVISE THE CONSTRUCTION OF THIS PROJECT.



DRAWING TITLE  
**PROPOSED SIXTH FLOOR PLAN**

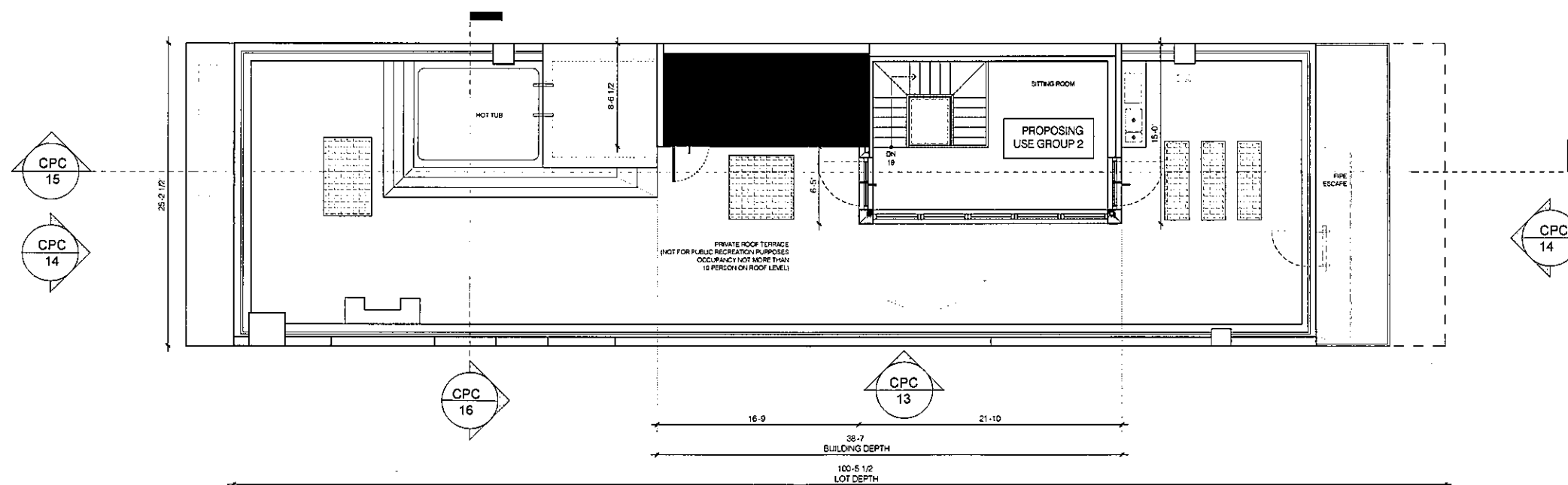
DRAWING NUMBER  
**CPC-10**

DATE: 2015  
SCALE: AS NOTED





DATE	REVISION NO	DESCRIPTION	COORDINATION REVIEW	APPROVAL	BY	DATE
05.27.2014	1	Progress Set				
08.05.2014	2	D.O.B Filing				
10.16.2014	3	D.O.B Review				
11.24.2014	4	ZFD1				
02.05.2015	5	D.O.B Review				
06.25.2015	6	LPC Approval				
07.14.2015	7	CPC Review				
07.22.2015	8	CPC Review				
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12.15.2016	11	CPC Review				
01.23.2016	12	CPC Review				

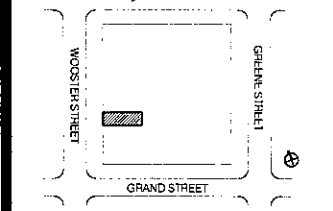


1 ROOF TERRACE PLAN  
SCALE 3/16 = 1-0

\* INTERIOR PARTITION FOR ILLUSTRATIVE PURPOSES ONLY

LEGEND	NET ZONING FLOOR AREA
[Pattern]	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 2 IN M1-5B ZONING DISTRICT
[Pattern]	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 6 IN M1-5B ZONING DISTRICT
[Pattern]	AREA OF MECHANICAL DEDUCTIONS
	323 S.F.
	0 S.F.
	154 S.F.

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ALL WORK, MATERIALS, APPENDICES AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNING AGENCIES (N.Y.C. DEPARTMENT OF BUILDINGS).

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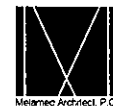


DRAWING TITLE  
PROPOSED ROOF FLOOR PLAN

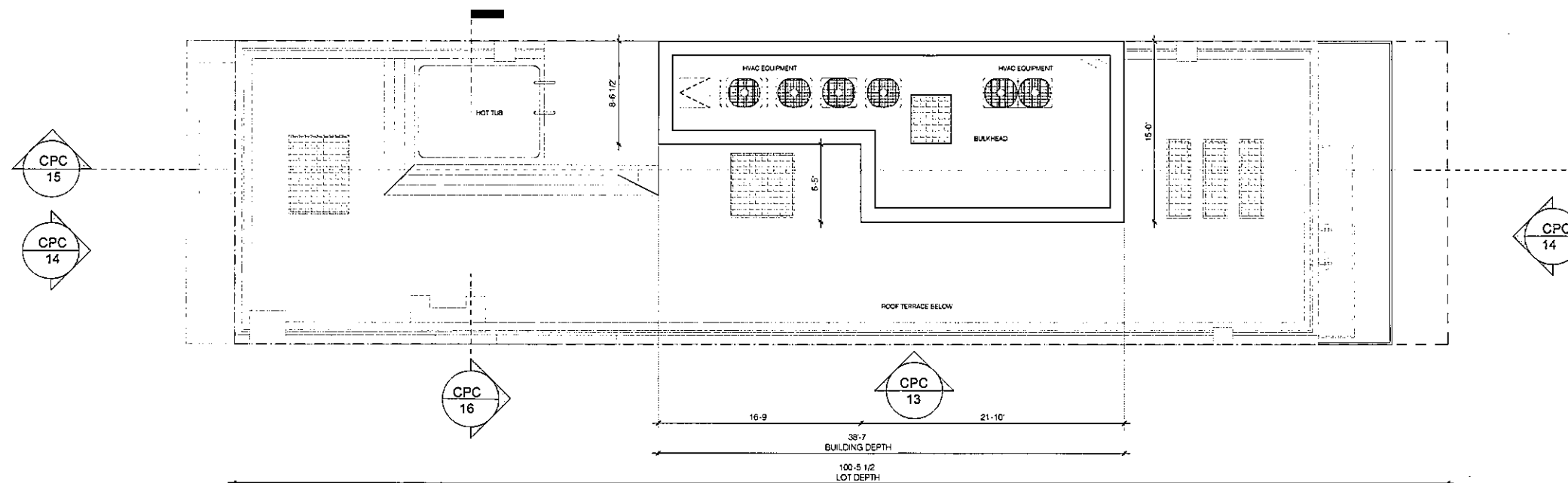
DRAWING NUMBER  
CPC-11

DATE  
2015

SCALE  
AS NOTED



DATE	REVISION	COPY TO	COORDINATION REVIEW	APPROVAL	IN CONSTRUCTION
05.27.2014	1	Progress set			
08.05.2014	2	D.O.B Filing	X		
10.18.2014	3	D.O.B Review	X		
11.24.2014	4	ZPD1	X		
02.05.2015	5	D.O.B Review	X		
06.25.2015	6	LPC Approval	X		
07.14.2015	7	CPC Review	X		
07.22.2015	8	CPC Review	X		
09.15.2015	9	CPC Review	X		
10.05.2016	10	CPC Review	X		
12.15.2016	11	CPC Review	X		
01.23.2016	12	CPC Review	X		



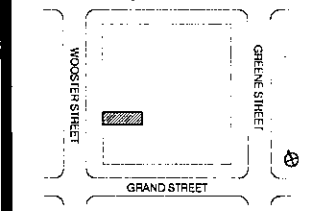
1 BULKHEAD ROOF PLAN  
 SCALE: 3/16" = 1'-0"

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\* INTERIOR PARTITION FOR ILLUSTRATIVE PURPOSES ONLY

LEGEND	NET ZONING FLOOR AREA
[Pattern]	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 2 IN M1-5B ZONING DISTRICT 0 S.F.
[Pattern]	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 6 IN M1-5B ZONING DISTRICT 0 S.F.
[Pattern]	AREA OF MECHANICAL DEDUCTIONS 0 S.F.

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 New York, NY 10013



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DRAWING TITLE  
 PROPOSED BULKHEAD  
 ROOF PLAN

DRAWING NUMBER  
**CPC-12**

DATE: 2015  
 SCALE: AS NOTED





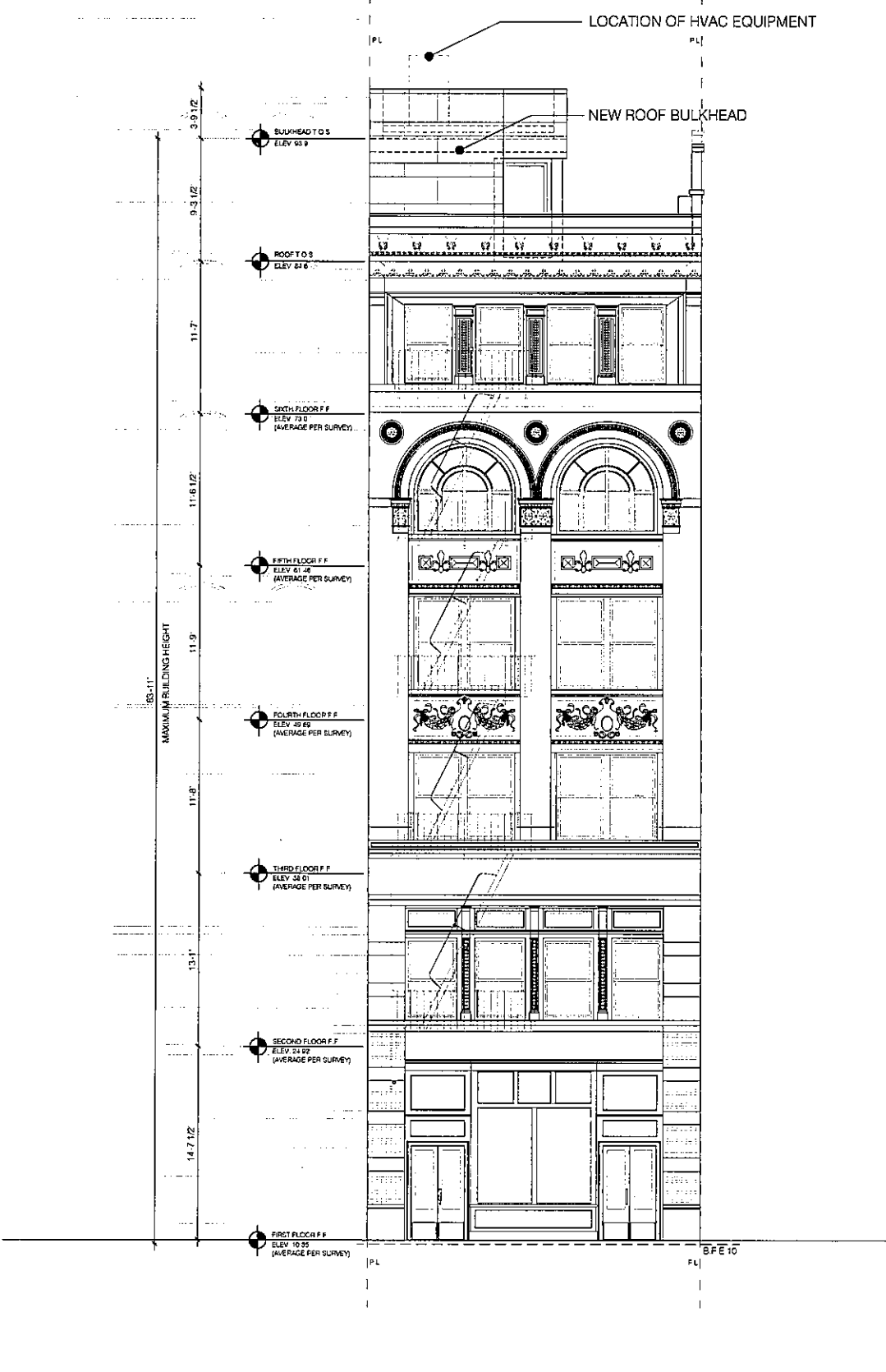
LEGEND  
 [ ] NEW CONSTRUCTION

Melamed Architect PC  
 Yosef Melamed, P.A.  
 500 Broadway Suite # 500  
 New York, NY 10013  
 Tel: 212-203-5053  
 Tel: 212-749-5050  
 yosef@melamedarchitect.com  
 www.melamedarchitect.com

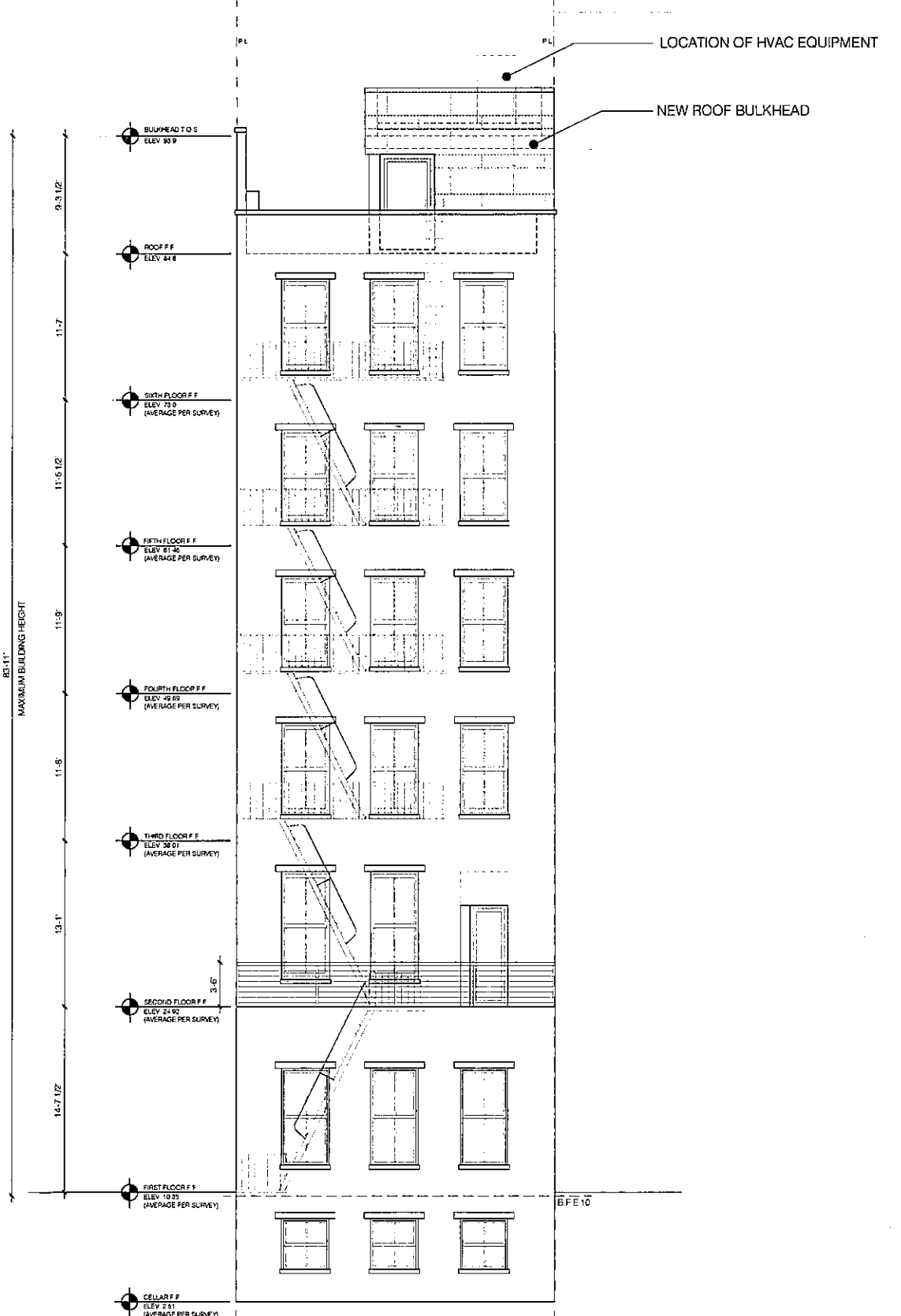


DATE	REVISION NO	DESCRIPTION	COORDINATION REVIEW	APPROVAL	CONSTRUCTION
05.27.2014	1	Progress set			
08.05.2014	2	D.O.B Filing			
10.18.2014	3	D.O.B Review			
11.24.2014	4	ZFD1			
02.05.2015	5	D.O.B Review			
06.25.2015	6	LPC Approval			
07.14.2015	7	CPC Review			
07.22.2015	8	CPC Review			
09.15.2016	9	CPC Review			
10.05.2016	10	CPC Review			
12.15.2016	11	CPC Review			
01.23.2016	12	CPC Review			

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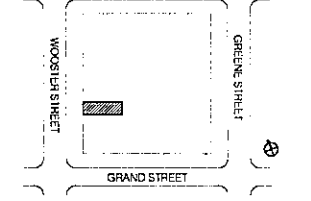


1 PROPOSED - WEST ELEVATION  
 SCALE 3/16 1-0



2 PROPOSED - EAST ELEVATION  
 SCALE 3/16 1-0

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DRAWING TITLE  
 EXISTING  
 EAST & WEST ELEVATION

DRAWING NUMBER  
 CPC-14

DATE 2015 SCALE AS NOTED

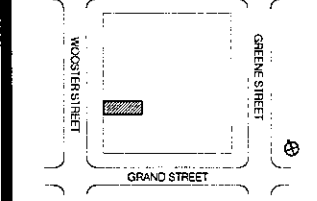


DATE	REVISION NO	DESCRIPTION	COORDINATION	APPROVAL	CONSTRUCTION
05.27.2014	1	Progress set			
08.05.2014	2	D.O.B Filing			
10.18.2014	3	D.O.B Review			
11.24.2014	4	ZHD1			
02.05.2015	5	D.O.B Review			
06.25.2015	6	LPC Approval			
07.14.2015	7	CPC Review			
07.22.2015	8	CPC Review			
09.15.2016	9	CPC Review			
10.05.2016	10	CPC Review			
12.15.2016	11	CPC Review			
01.23.2016	12	CPC Review			

**LEGEND**

[Pattern]	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 2 IN M1-5B ZONING DISTRICT
[Pattern]	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 6 IN M1-5B ZONING DISTRICT
[Pattern]	AREA OF MECHANICAL DEDUCTIONS
[Line]	PROPERTY LINE
[Line]	BUILDING LINE
[Line]	HIDDEN LINE
[Line]	BULKHEAD REGULATION

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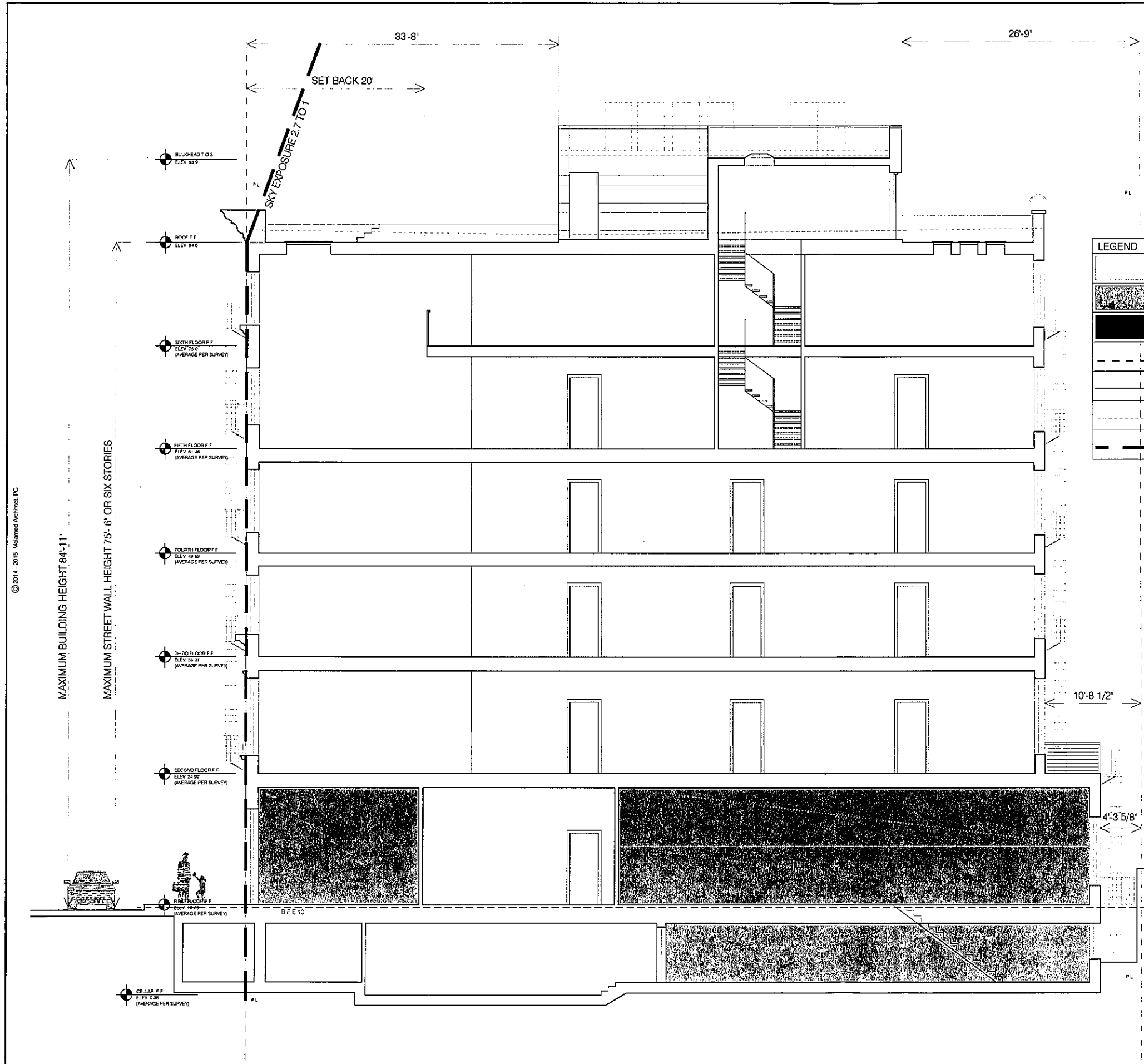
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ALL WORK, MATERIALS, ACCESSORIES AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CODE REQUIREMENTS OF ALL GOVERNMENT AGENCIES HAVING JURISDICTION.  
CONSULT ALL OTHER PERMITS WHOSE NAME IS APPEAR ON THIS DRAWING. YOU BEAR PROFESSIONAL AND LEGAL LIABILITY FOR THE DRAWING AND ITS USE IN LIEU OF THE ARCHITECT.  
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DRAWING TITLE  
**WAIVER SECTION:  
SECTION A-A**

DRAWING NUMBER  
**CPC-15**

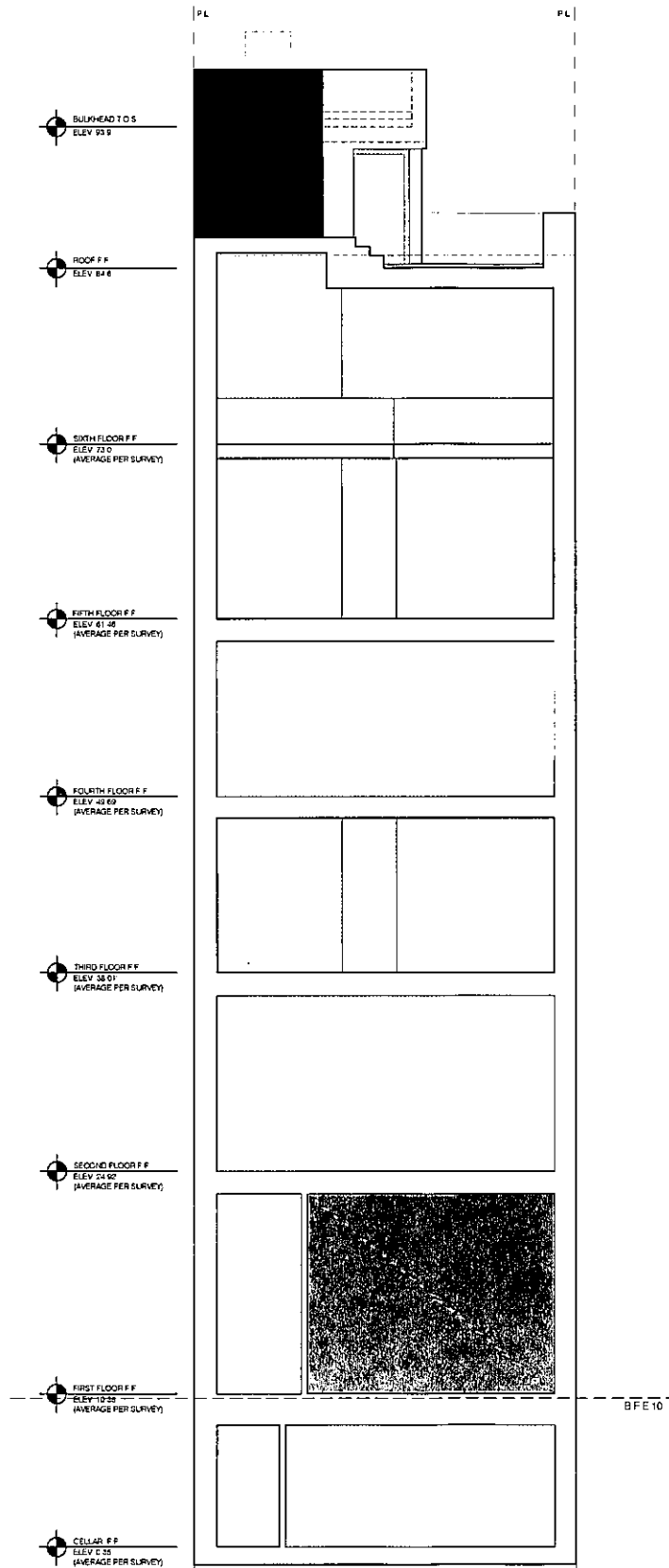
DATE: 2015  
SCALE: AS NOTED



**SECTION A-A**  
SCALE 3/16" = 1'-0"

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MAXIMUM BUILDING HEIGHT 84'-11"  
MAXIMUM STREET WALL HEIGHT 75'-6" OR SIX STORIES



1 SECTION B-B  
SCALE 3/16 = 1'-0"

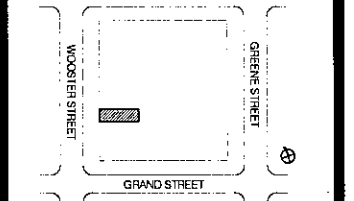
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	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 6 IN M1-5B ZONING DISTRICT
	AREA OF MECHANICAL DEDUCTIONS
	PROPERTY LINE
	BUILDING LINE
	HIDDEN LINE
	BULKHEAD REGULATION

Melamed Architect PC

Yossi Melamed, R.A.  
500 Broadway Suite # 500  
New York, NY 10013  
Tel: 212-203-5053  
Tel: 212-749-5050  
yosif@melamedarchitect.com  
www.melamedarchitect.com

DATE	REVISION NO	COPY TO	COORDINATION REVIEW	APPROVAL	PHD	CONSTRUCTION
05.27.2014	1	Progress set				
08.05.2014	2	D.O.B Filing				
10.18.2014	3	D.O.B Review				
11.24.2014	4	ZRD1				
02.05.2015	5	D.O.B Review				
06.25.2015	6	LPC Approval				
07.14.2015	7	CPC Review				
07.22.2015	8	CPC Review				
09.15.2016	9	CPC Review				
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12.15.2016	11	CPC Review				
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DRAWING TITLE  
WAIVER SECTION:  
SECTION B-B

DRAWING NUMBER  
**CPC-16**

DATE  
2015

SCALE  
AS NOTED





4 AERIAL VIEW - GOOGLE EARTH (2014)  
SCALE: N.T.S.

**BUILDING INFORMATION**

TAX MAP BLOCK/LOT: 475/34

DATE: 1895-96

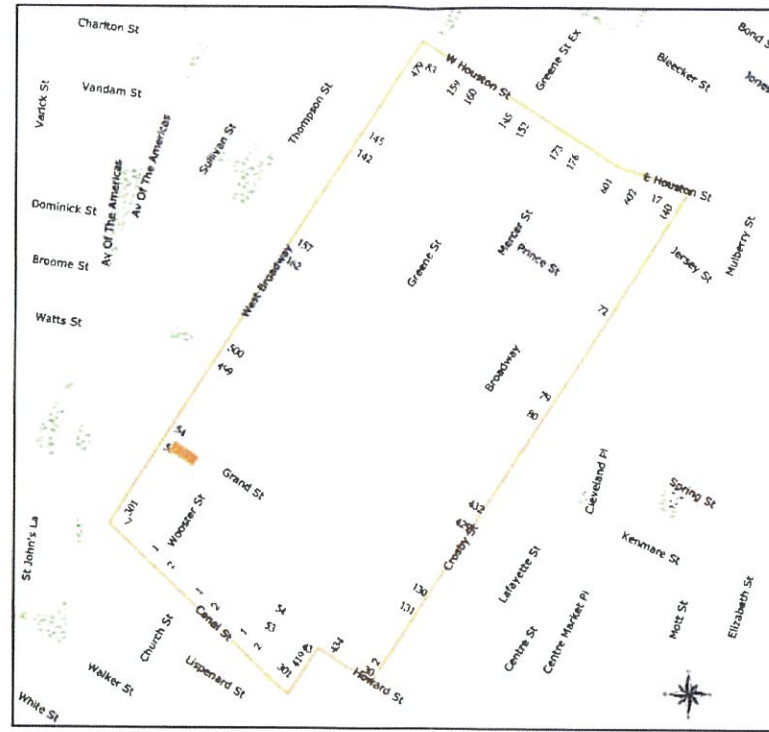
ARCHITECT: BUCHMAN & DEISLER

CURRENT OWNER: NORTHWIND GROUP

TYPE: COMMERCIAL OFFICE BUILDING

FACADE: BRICK, TERRA COTTA AND CAST IRON

NUMBER OF STORIES: 6 WITH BASEMENT



HISTORIC DISTRICT BOUNDARY  
40 WOOSTER STREET

SOHO-CAST IRON HISTORIC DISTRICT, DESIGNATED BY THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION IN 1973

5 SOHO-CAST IRON HISTORIC DISTRICT MAP  
SCALE: N.T.S.

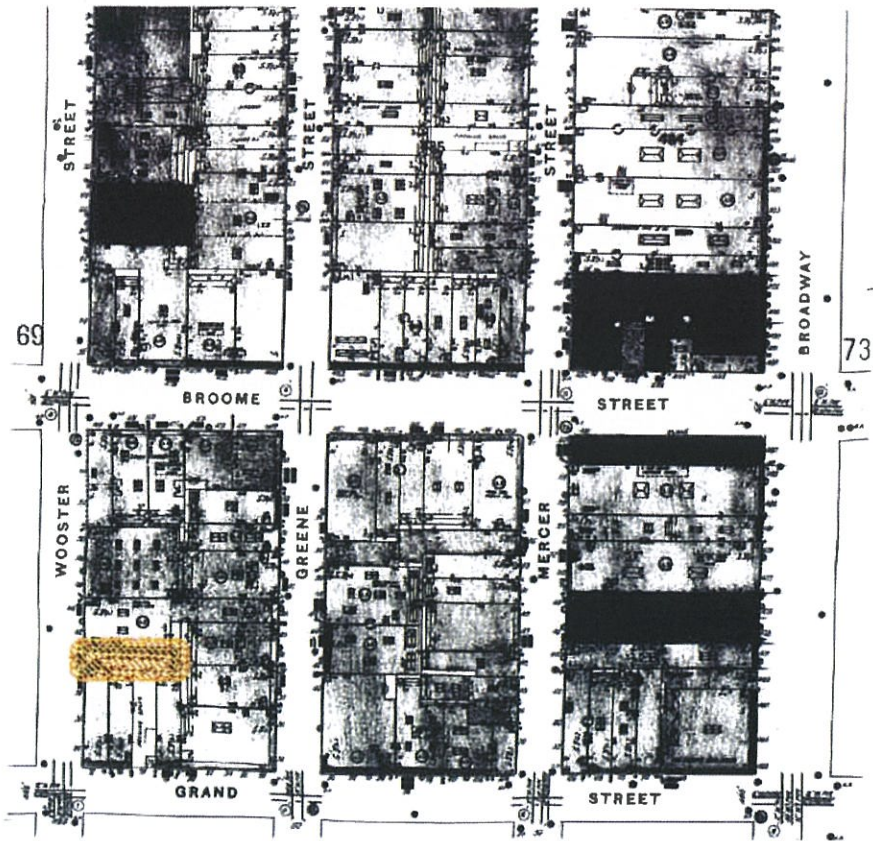


1940s TAX PHOTO

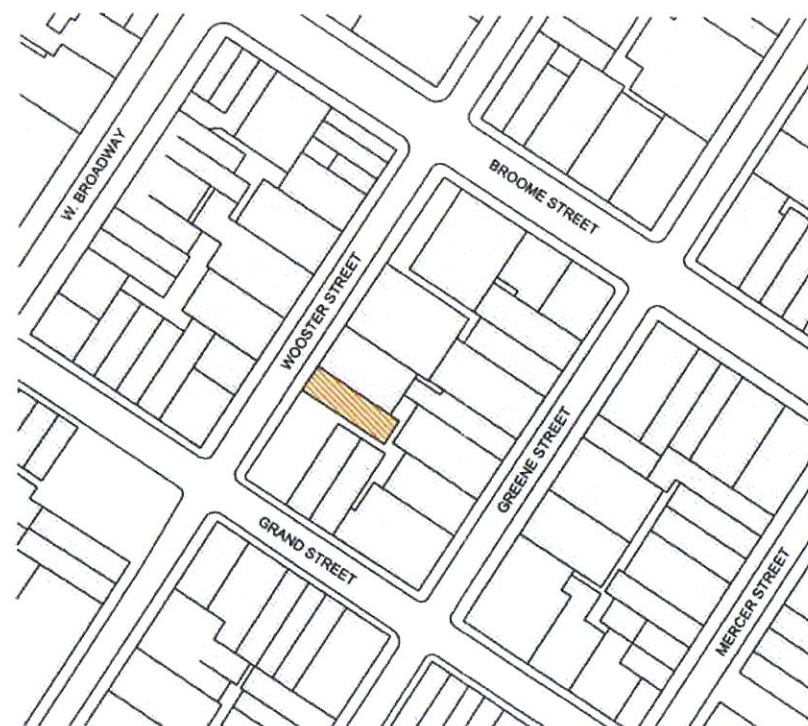


1980s TAX PHOTO

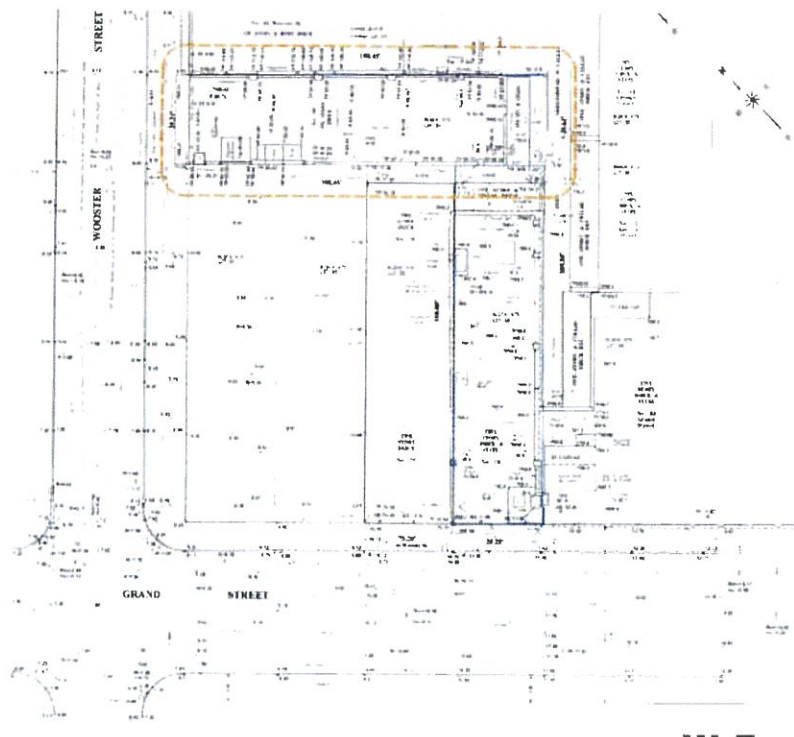
6 TAX PHOTOS



1 1908 SANBORN MAP  
SCALE: AS SHOWN

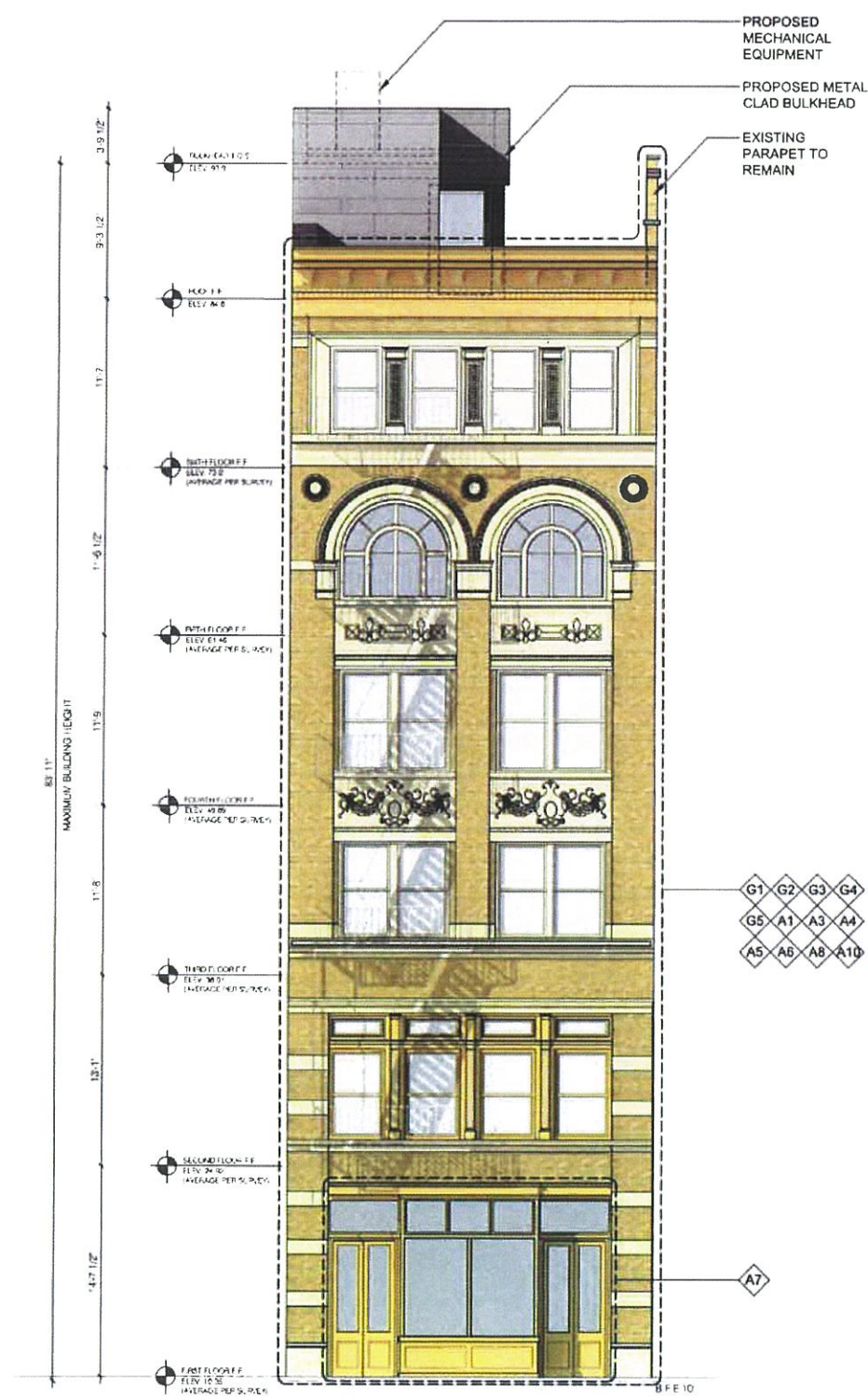


2 SITE PLAN  
SCALE: N.T.S.



3 SITE SURVEY  
SCALE: AS SHOWN





1 PROPOSED WEST ELEVATION  
SCALE: 3/16" = 1'-0"

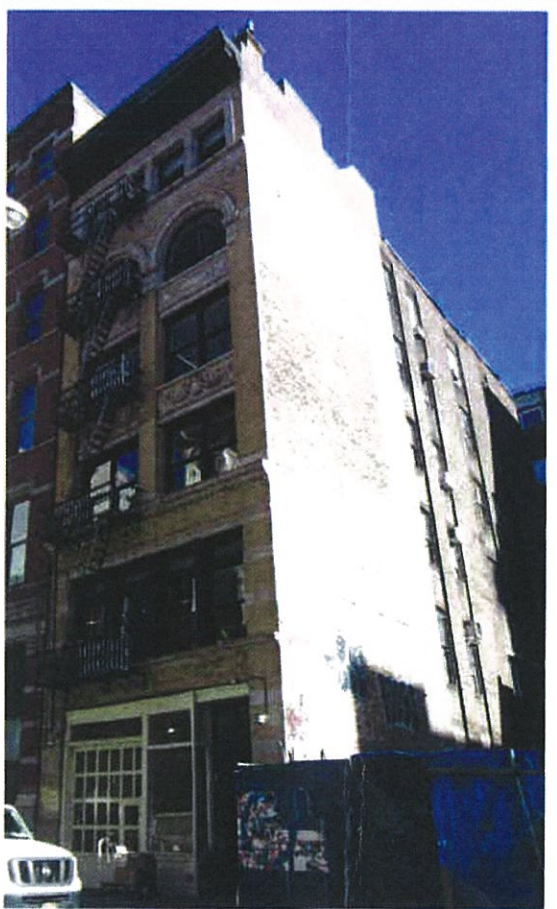
**RESTORATION KEY NOTES**

**GENERAL RESTORATION NOTES**

- G1 CONTRACTOR IS RESPONSIBLE TO DOCUMENT AND PHOTOGRAPH ALL EXISTING CONDITIONS WITHIN THE SCOPE OF WORK AREA PRIOR TO ANY DISASSEMBLY AND CUTTING OF MASONRY ELEMENTS.
- G2 WHERE NEW OR EXISTING MASONRY (CAST OR UNIT) IS TO BE INSTALLED, MASON SHALL VERIFY IN FIELD THE STRUCTURAL INTEGRITY OF THE INTERFACE AS REQUIRED, MINOR OR LOCAL REPAIRS SHALL BE MADE WITH BRICK MORTAR TYPE "N" OR AS APPROVED BY ARCHITECT.
- G3 THE CONTRACTOR SHALL PROTECT ALL EXISTING SURFACES FOR THE DURATION OF THE CONTRACT AND SHALL REPAIR ANY DAMAGE TO SURFACES RESULTING FROM WORK AT NO EXTRA COST OR CONTRACT TIME. ALL DAMAGE RESULTING FROM THE REMOVALS SHALL BE DOCUMENTED BY CONTRACTOR ON DRAWINGS. SUCH ITEMS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE ARCHITECT AND OWNER.
- G4 THESE DOCUMENTS DO NOT INDICATE CUTTING, PATCHING AND PROTECTION OF INTERIOR SPACES OR FEATURES, WHICH IS THE RESPONSIBILITY OF THE CONTRACTOR.
- G5 THE PROPERTY HAS BEEN DETERMINED TO POSSESS HISTORIC AND ARCHITECTURAL SIGNIFICANCE, THE CONTRACTOR SHALL RECOGNIZE THAT ALL ASPECTS OF THE PROPERTY MAY POTENTIALLY CONTRIBUTE TO THE SIGNIFICANCE AND THE CONTRACTOR SHALL NOT JUDGE THE RELATIVE SIGNIFICANCE OF ANY FEATURES NOR THE IMPACT OF ANY OR ALL PROPOSED WORK, THE RESPONSIBILITY SHALL REST SOLELY WITH THE ARCHITECT. CONSEQUENTLY NO DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE PERFORMED AND NO FEATURES SHALL BE ALTERED, REMOVED, REUSED OR TAKEN FROM THE PREMISES WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT AS BEING CONSISTENT WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

**ARCHITECTURAL NOTES**

- A1 PROVIDE SHORING AND BRACING OF ALL BUILDING COMPONENTS AND FEATURES TO REMAIN IN PLACE DURING THE COURSE OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO CAST IRON COLUMNS, CAPITALS, FRIEZES AND CORNICE, BRICK, TERRA COTTA ORNAMENT, METAL FIRE ESCAPES AND SECURITY CAMERAS.
- A2 PROVIDE AND INSTALL NEW BRICK MASONRY UNITS IDENTIFIED FOR REPLACEMENT ON THE SOUTH FAÇADE. (ALLOWANCE 200 SF)
- A3 CUT OUT AND REPOINT MORTAR JOINTS OF EXISTING BRICK AND TERRA COTTA MASONRY AT WEST AND SOUTH FACADES INCLUDING ALL HORIZONTAL AND VERTICAL SURFACES AND PROJECTION. (100%) REPOINTING MORTAR TO MATCH ORIGINAL IN COMPOSITION, COLOR, TOOLING, ETC.
- A4 PERFORM MASONRY REPAIRS REQUIRED AT AREAS IDENTIFIED ON DRAWINGS INCLUDING BUT NOT LIMITED TO COMPOSITE PATCHING REPAIRS IN AREAS OF PREVIOUS ANCHOR ATTACHMENTS AND CRACK REPAIRS ON THE WEST AND SOUTH FACADES. (PATCHING ALLOWANCE: 25 SF; CRACK REPAIR ALLOWANCE: 20 LF)
- A5 REMOVE GRAFFITI AND GENERAL SOILING FROM EXISTING BRICK AND TERRA COTTA MASONRY AT WEST AND SOUTH FACADES. (100%)
- A6 SCRAPE, PRIME AND PAINT CAST IRON AND METAL INCLUDING BUT NOT LIMITED TO METAL CORNICE, CAST IRON COLUMNS, METAL FIRE ESCAPE, STEEL LINTELS AND IRON SPINDLES (REAR FACADE). FINISH COLORS BASED ON HISTORIC DOCUMENTATION AND PAINT ANALYSIS.
- A7 FURNISH AND INSTALL NEW GLASS AND WOOD STOREFRONT BASED ON HISTORIC DOCUMENTATION COMPLETE WITH FINISH CARPENTRY.
- A8 REPLICATE (14) WOOD WINDOWS AND FRAMES TO MATCH THE ORIGINAL CONFIGURATION OF THE WINDOWS ON THE WEST FAÇADE. PAINT COLOR BASED ON HISTORIC DOCUMENTATION AND PAINT ANALYSIS.
- A9 REPLACE (38) EXISTING WINDOWS (COMBINATION OF WOOD, STEEL AND ALUMINUM WINDOWS) WITH ALUMINUM AND FIRE-RATED STEEL LOT LINE WINDOWS TO MATCH THE ORIGINAL CONFIGURATION.
- A10 CLEAN EXISTING CONCRETE FLAGS AT SIDEWALK. (100%)



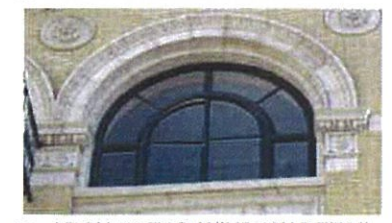
2 WEST ELEVATION  
PHOTOGRAPHED: 01.06.15



5 WEST ELEVATION, 5TH & 6TH FLOORS  
PHOTOGRAPHED: 01.06.15



7 CORNICE DETAIL  
PHOTOGRAPHED: 01.06.15



6 ARCHED TOP WINDOW DETAIL  
PHOTOGRAPHED: 01.06.15



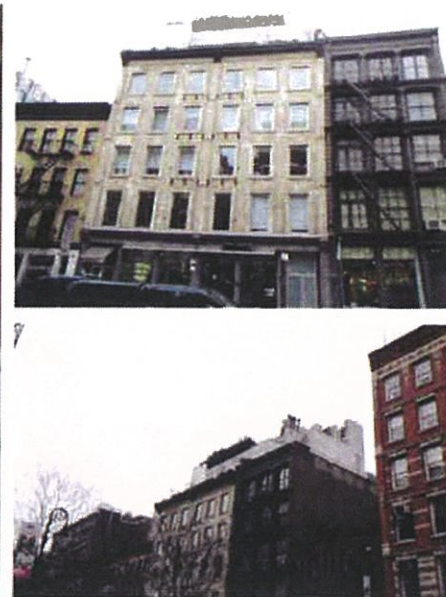
3 WEST ELEVATION, STOREFRONT  
PHOTOGRAPHED: 01.06.15



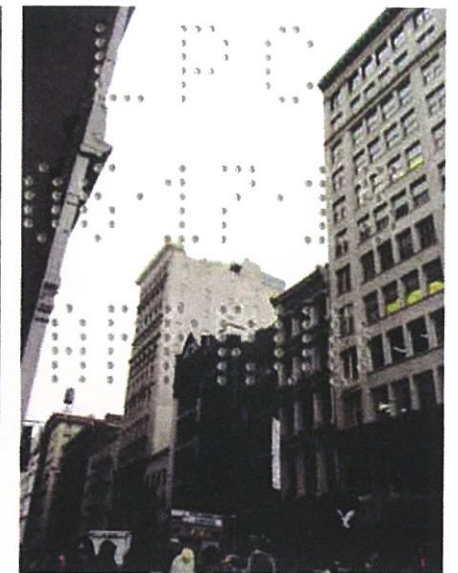
4 WEST ELEVATION, 2ND FLOOR  
PHOTOGRAPHED: 01.06.15







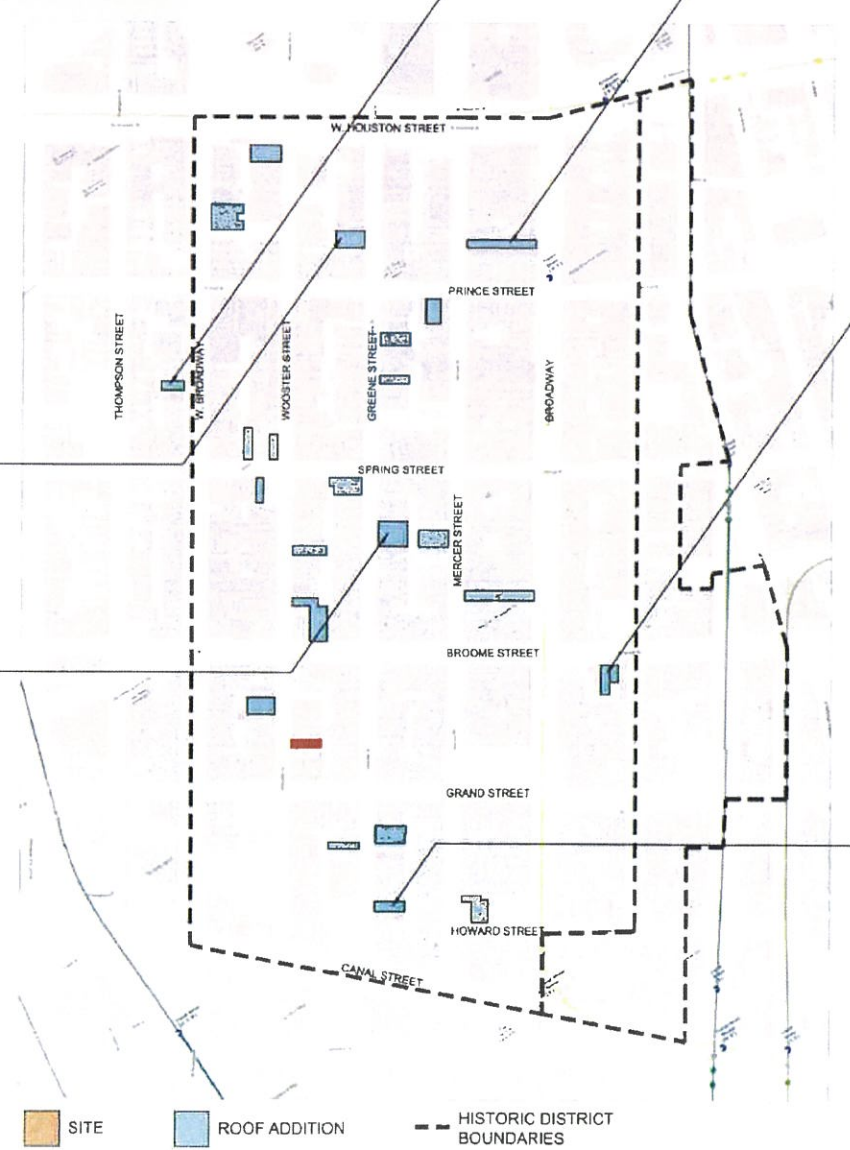
**422 W. BROADWAY**  
 LPC PERMIT ISSUE DATE: 01.02.2013  
 APPROVED WORK: CONSTRUCTION OF A TWO-STORY ROOFTOP ADDITION SETBACK 11'6" FROM THE PRIMARY FACADE AND 15' FROM THE REAR FACADE, AND MEASURING APPROX. 22' IN HEIGHT AT THE HIGHEST POINT, AND ADJUSTING THE INTERIOR FLOOR HEIGHTS AND ROOF TO RECESS THE ADDITION 3'10" INTO THE BUILDINGS STRUCTURE. THE SECOND FLOOR OF THE ADDITION IS FURTHER SETBACK FROM THE SOUTH SECONDARY FACADE 9'5" AND FEATURES A SLOPING ROOF CLAD IN LIGHT METAL PANELS, SINGLE PANE SLIDING GLASS RAILINGS; THE FIRST FLOOR OF THE ADDITION WILL FEATURE LIGHT METAL PANELS, SINGLE PANE SLIDING GLASS DOORS AND WINDOWS, AND WILL CLAD IN GRAY BRICK AT THE SOUTH SECONDARY ELEVATION



**577 BROADWAY**  
 LPC PERMIT ISSUE DATE: 08.14.2007  
 APPROVED WORK: CONSTRUCTING A ONE-STORY GLASS ROOFTOP ADDITION AND MECHANICAL EQUIPMENT



**121 GREENE STREET**  
 LPC PERMIT ISSUE DATE: 07.09.2008  
 APPROVED WORK: CONSTRUCTING A ONE-STORY GLASS ROOFTOP ADDITION AND STAIR BULKHEAD



**431 BROOME STREET**  
 LPC PERMIT ISSUE DATE: 03.30.2011  
 APPROVED WORK: CONSTRUCTING A ONE-STORY STUCCO CLAD ROOFTOP ADDITION WITH ANELEVATOR BULKHEAD SETBACK APPROX. 17- FEET FROM THE BROOME STREET ELEVATION AND ALIGNING WITH THE REAR ELEVATION FOR APPROX. 14- FEET, INSTALLING A METAL RAILING AT THE REAR PARAPET WALL TO CREATE A TERRACE, INSTALLING MECHANICAL EQUIPMENT, TWO (2) ROOF ACCESS SCUTTLES AND TWO (2) SKYLIGHTS ON THE ROOF ADDITION



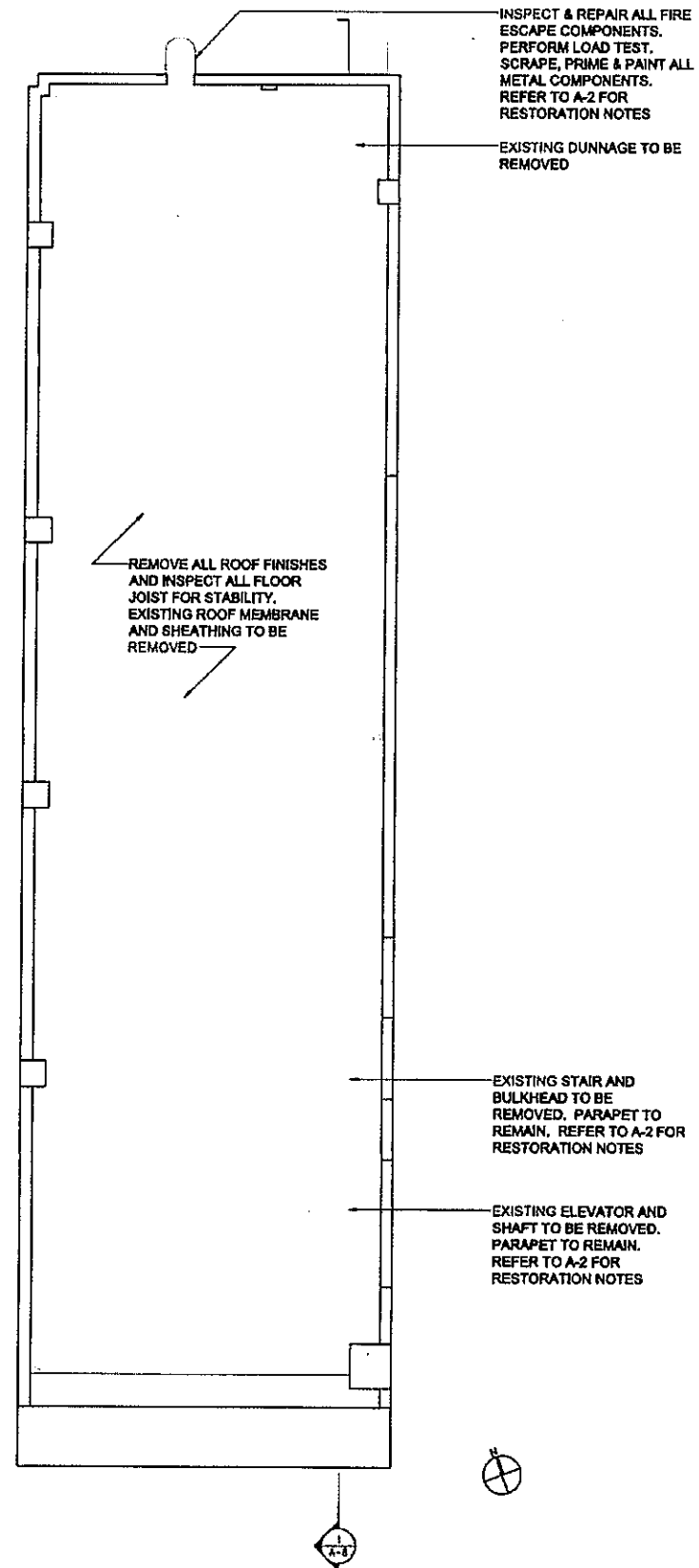
**72-76 GREENE STREET**  
 LPC PERMIT ISSUE DATE: 12.29.2006  
 APPROVED WORK: CONSTRUCTING A ONE-STORY ROOFTOP PENTHOUSE



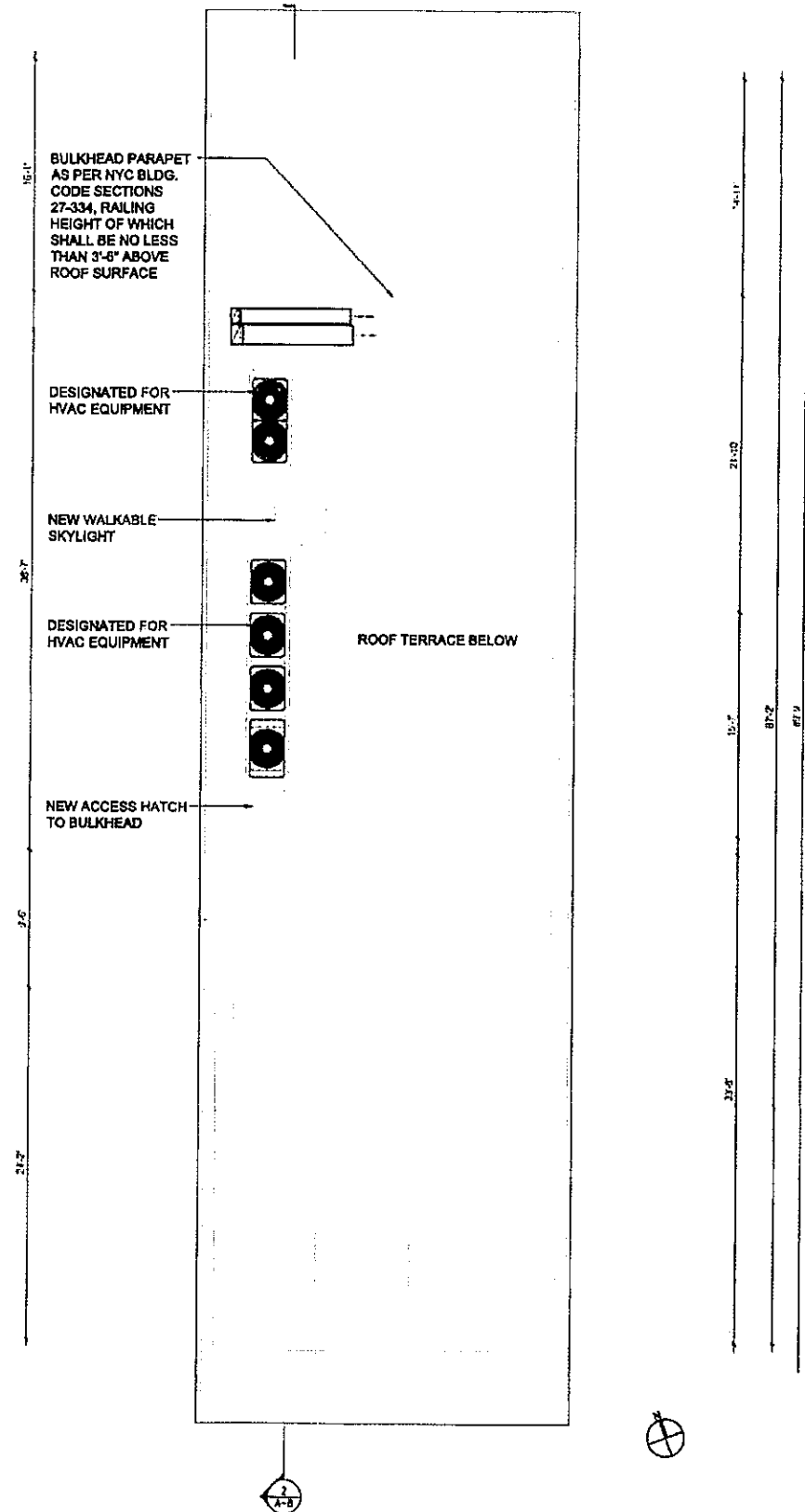
**12 GREENE STREET**  
 LPC PERMIT ISSUE DATE: 05.09.2008  
 APPROVED WORK: CONSTRUCTION OF A TWO-STORY ROOFTOP ADDITION WITH METAL CLADDING SETBACK 24- FEET FROM THE REAR FACADE



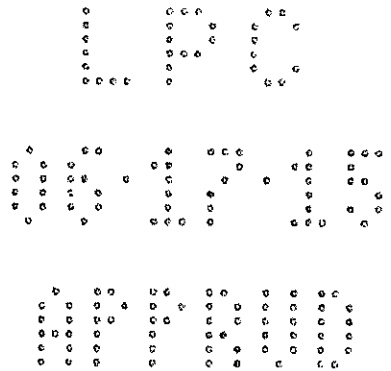




1 EXISTING ROOF PLAN  
SCALE: 3/16" = 1'-0"



2 PROPOSED ROOF PLAN  
SCALE: 3/16" = 1'-0"



Yossi Melamed, R.A.  
482 Broadway, Third Floor  
New York, NY 10013  
Tel: 212-203-6053  
Mobile: 917-655-7236  
yosiel@melamedarchitect.com  
www.melamedarchitect.com

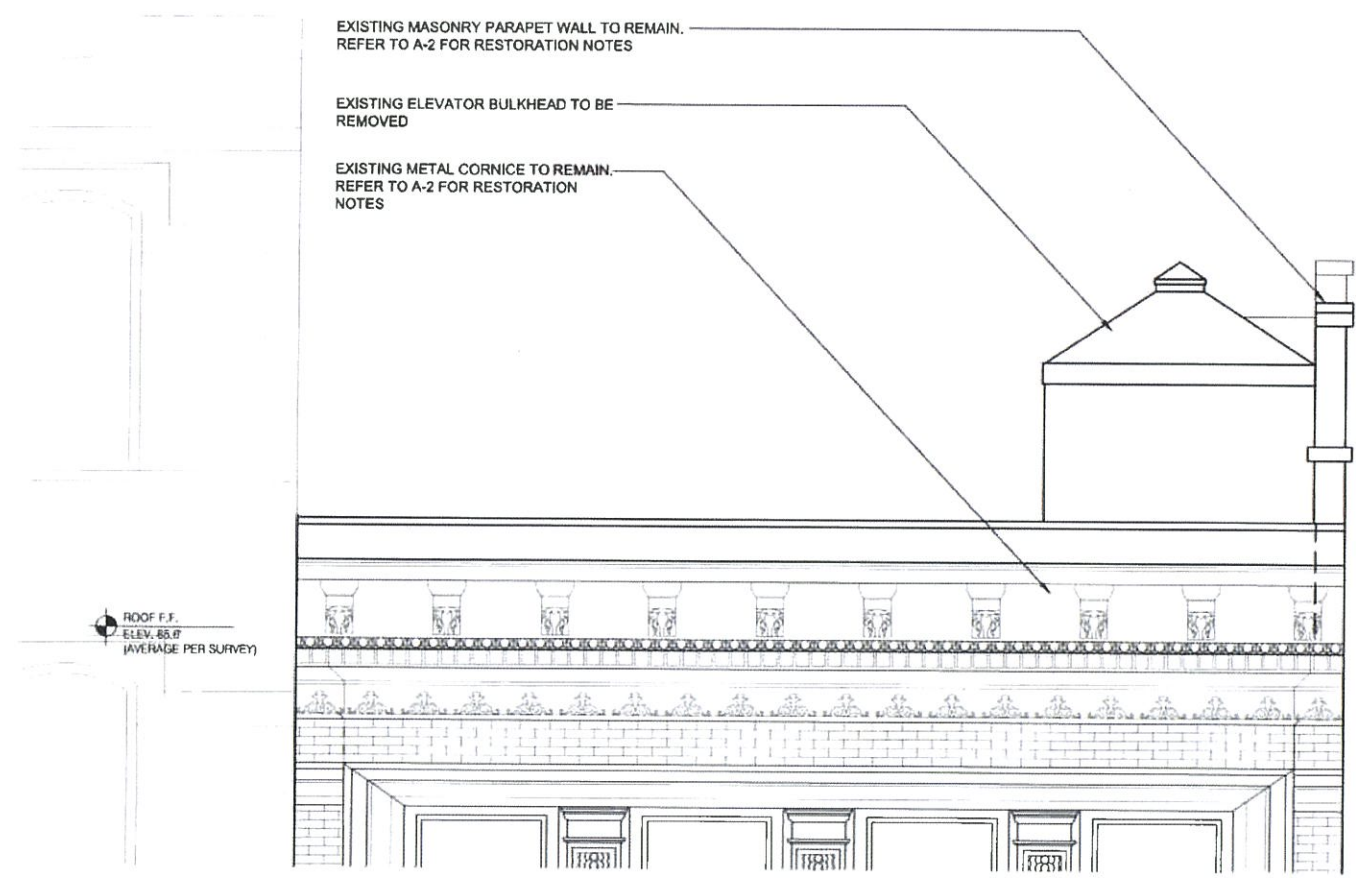


**EASTON ARCHITECTS**  
20 WEST 44TH STREET, SUITE 604  
NEW YORK, NY 10036  
212-779-9570 TEL  
EASTONARCH.COM

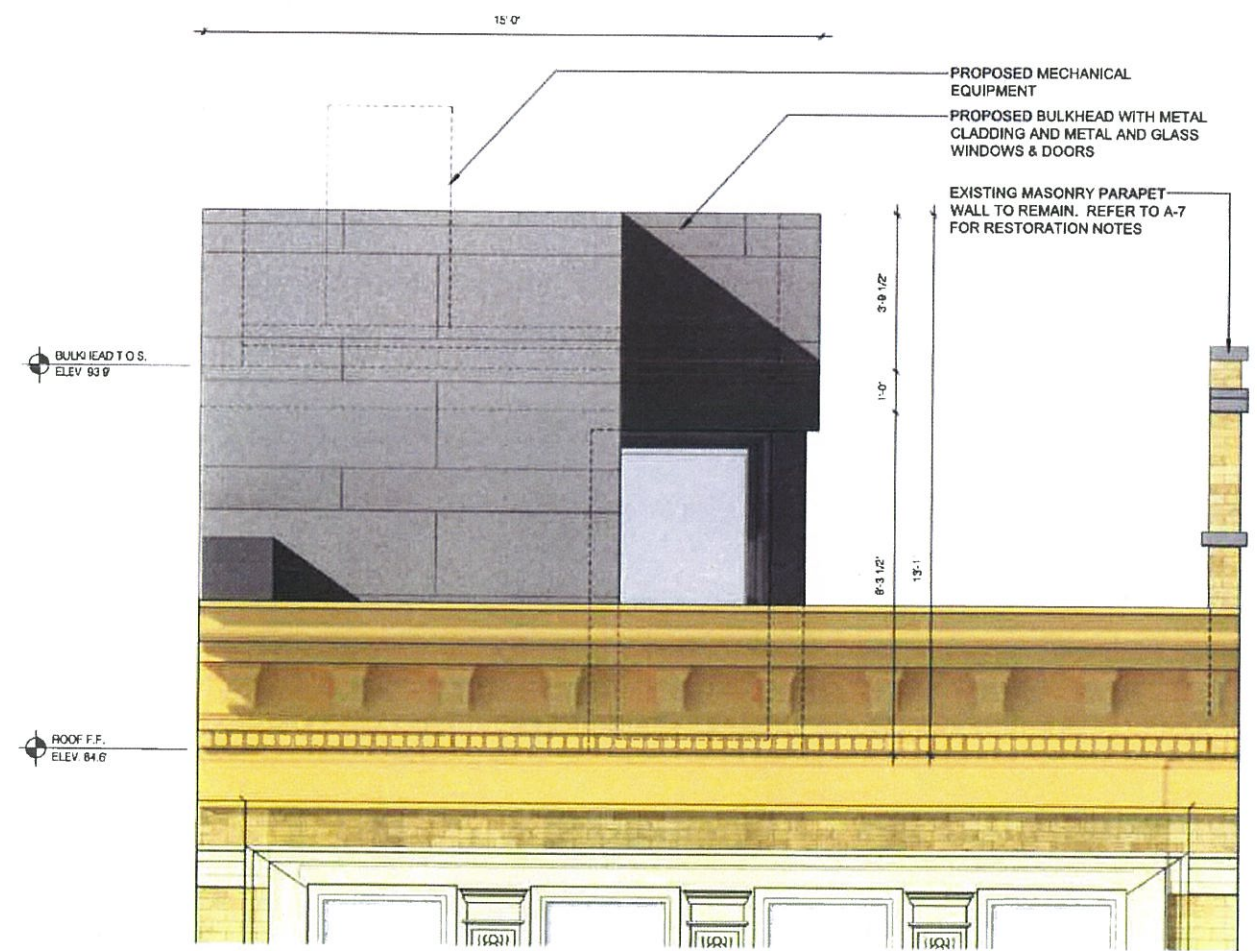
40 WOOSTER STREET  
NEW YORK, NY 10013  
**A-4**  
DATE: 04.07.15



LPC  
 05/17/15  
 APPROD

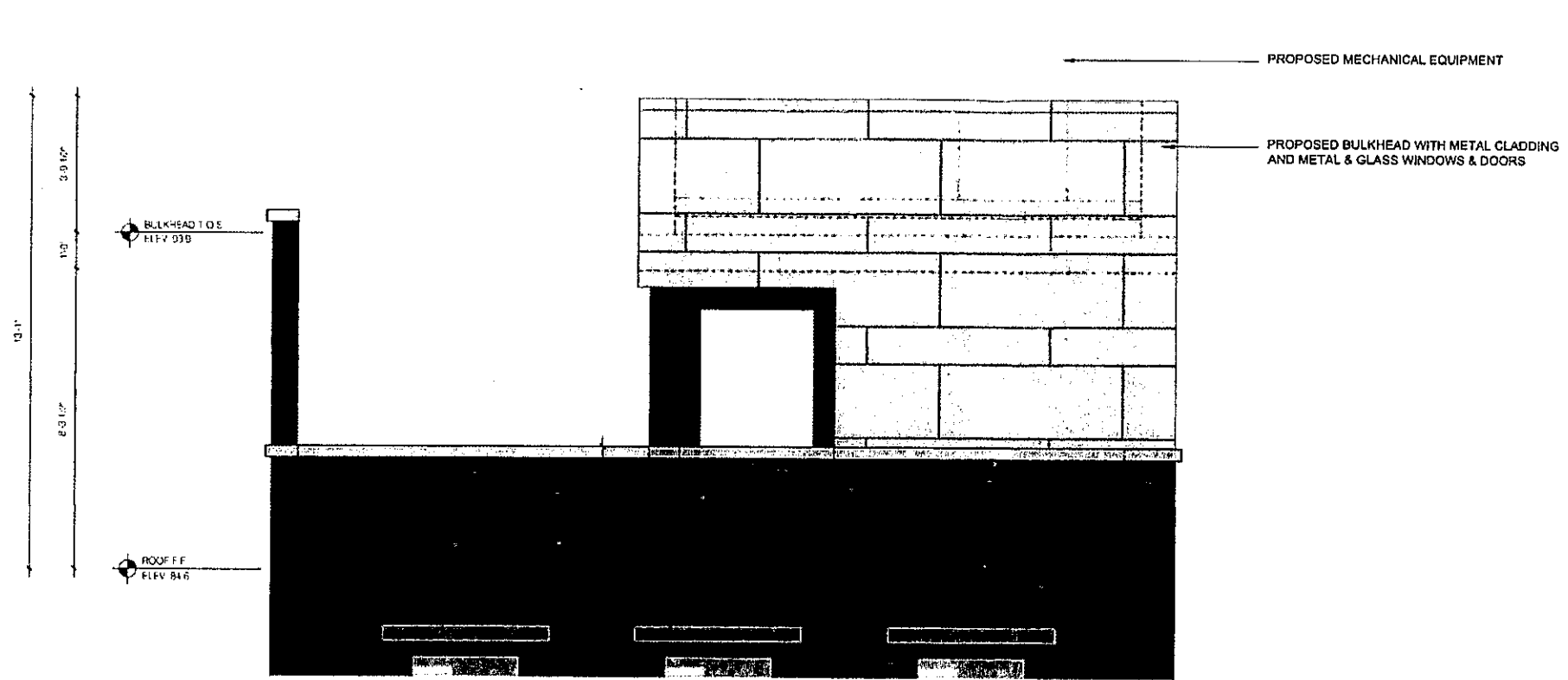


1 EXISTING WEST ELEVATION AT ROOF LEVEL  
 SCALE: 1/2" = 1'-0"

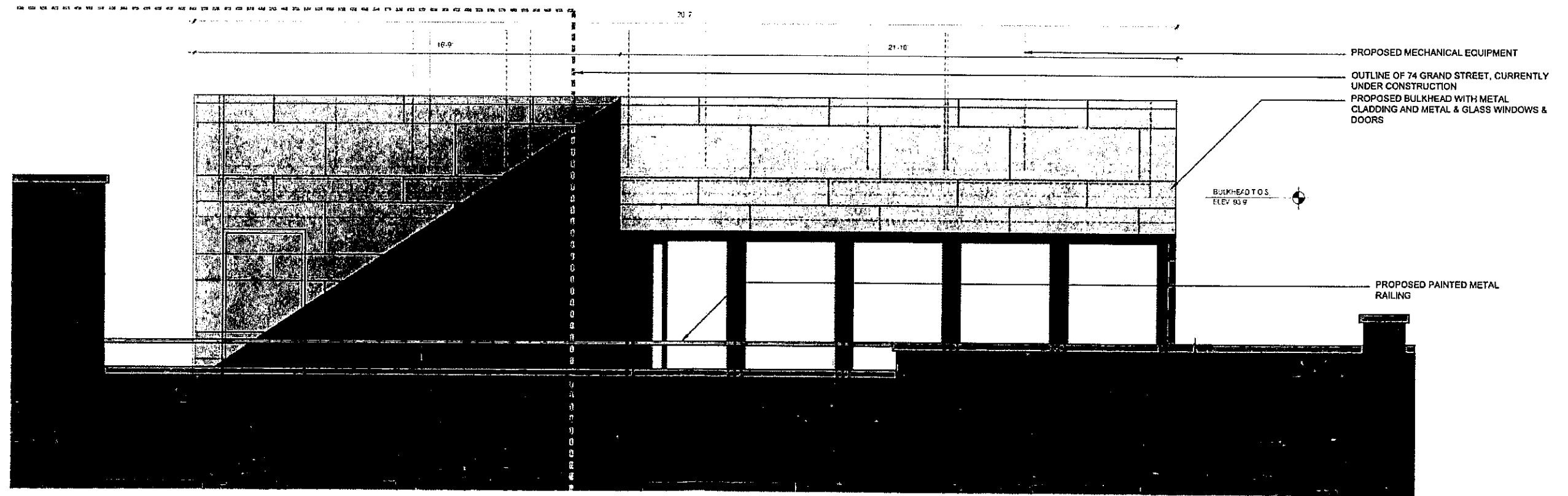


2 PROPOSED WEST ELEVATION AT ROOF LEVEL  
 SCALE: 1/2" = 1'-0"



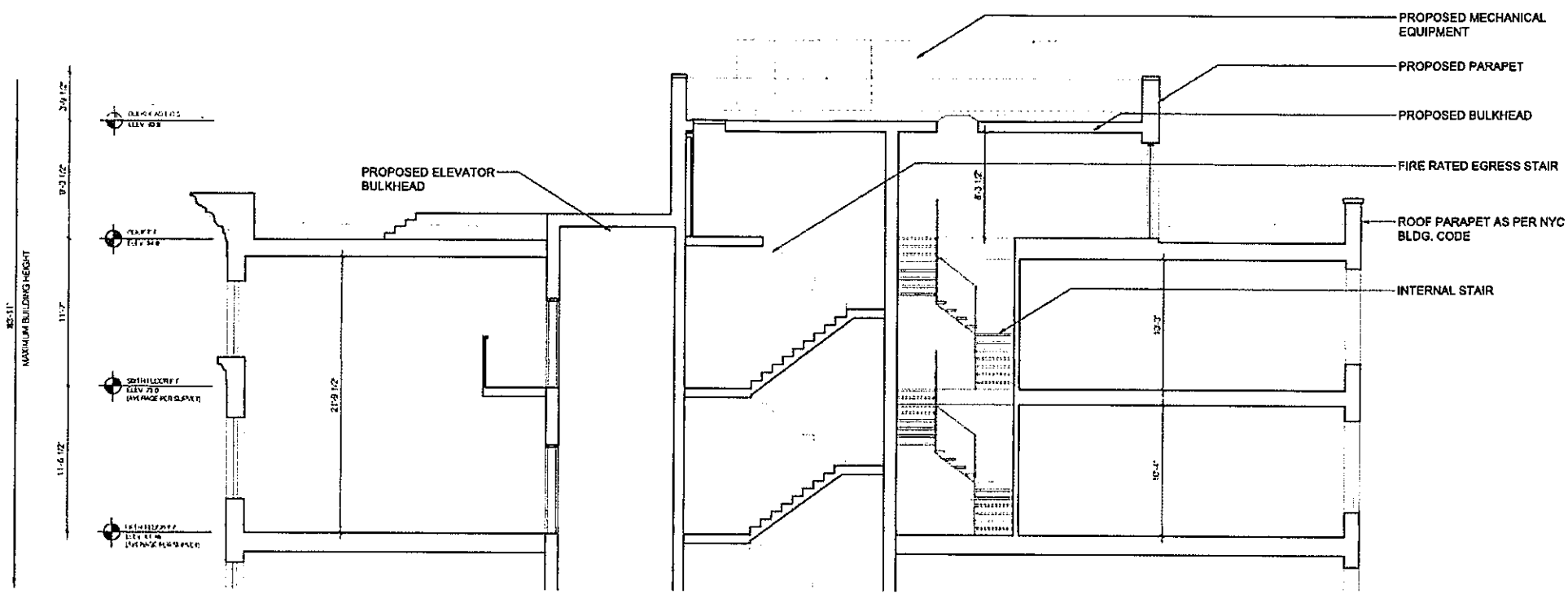


2 PROPOSED EAST ELEVATION AT ROOF LEVEL  
SCALE: 1/2" = 1'-0"

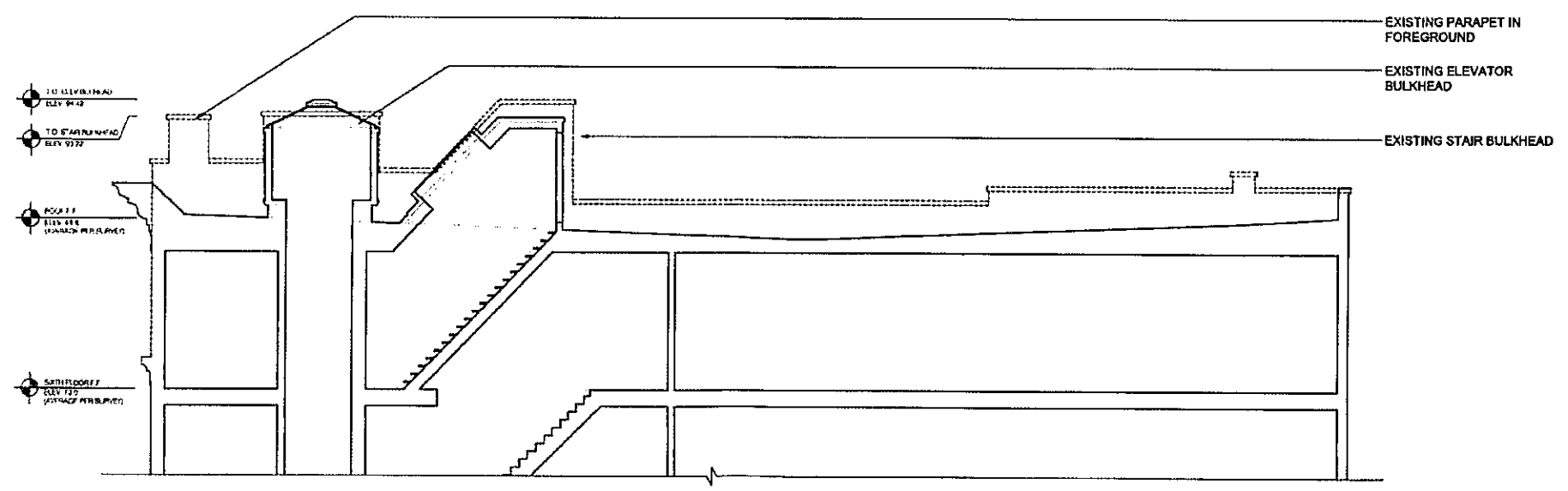


1 PROPOSED SOUTH ELEVATION AT ROOF LEVEL  
SCALE: 1/2" = 1'-0"

LDC  
 2015  
 2015



2 PROPOSED LONGITUDINAL SECTION AT BULKHEAD  
 SCALE: 3/16" = 1'-0"



1 EXISTING LONGITUDINAL SECTION AT BULKHEAD  
 SCALE: 3/16" = 1'-0"

Yossi Meiramed, F.A.  
 452 Broadway Third Floor  
 New York, NY 10013  
 Tel: 212-203-5053  
 Mobile: 917-658-7236  
 yosif@meiramedarchitect.com  
 www.meiramedarchitect.com

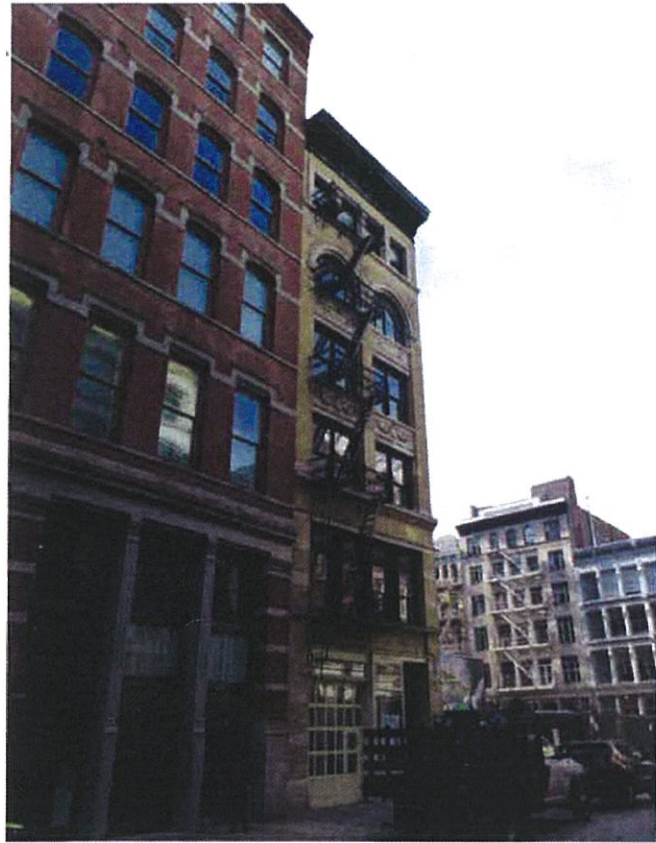


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 NEW YORK, NY 10036  
 212-779-9570 TEL  
 EASTONARCH.COM

40 WOOSTER STREET  
 NEW YORK, NY 10013  
**A-8**  
 DATE: 04.07.15

EXISTING & PROPOSED LONGITUDINAL SECTIONS AT BULKHEAD

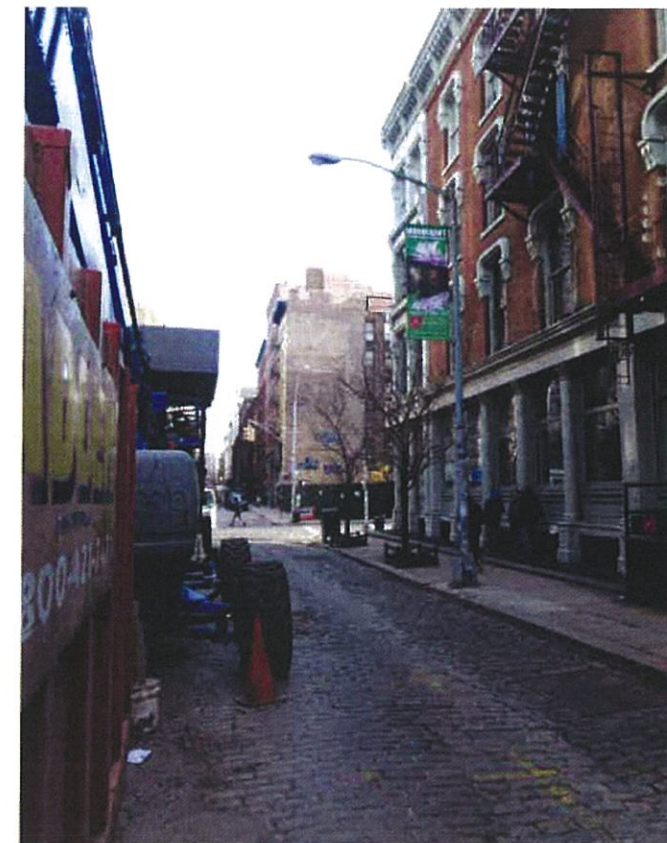




4 VIEW 01  
SCALE: N.T.S.



5 VIEW 02  
SCALE: N.T.S.



4 VIEW 04: MOCK-UP PHOTOGRAPH  
SCALE: N.T.S.

LPC  
DESIGN  
PROJECT



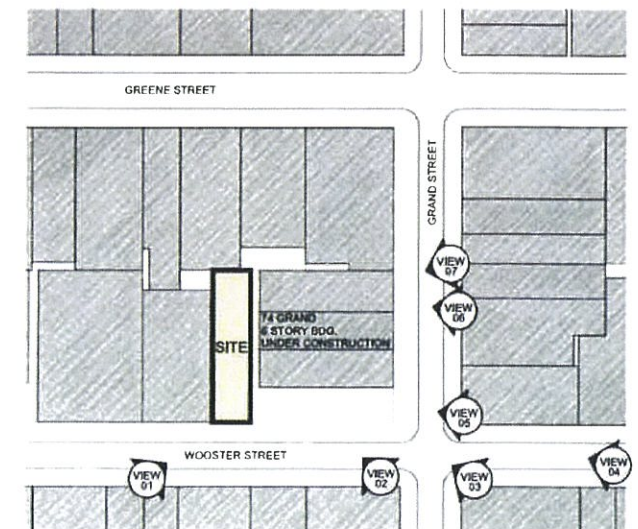
1 VIEW 03: MOCK-UP PHOTOGRAPH  
SCALE: N.T.S.



2 VIEW 03: WITH 74 GRAND BDG. OUTLINE & PROPOSED BULKHEAD MASS PHOTOSHOPPED IN  
SCALE: N.T.S.

74 GRAND  
(6 STORY BDG. IN  
CONSTRUCTION)

PROPOSED  
PRIVATE  
STAIR BULKHEAD



3 KEY PLAN  
SCALE: N.T.S.

Yossi Melamed, R.A.  
462 Broadway, Third Floor  
New York, NY 10013  
Tel: 212-203-5053  
Mobile: 917-658-7236  
ycs@melamedarchitect.com  
www.melamedarchitect.com



**EASTON ARCHITECTS**  
20 WEST 44TH STREET, SUITE 604  
NEW YORK, NY 10036  
212-779-9570 TEL  
EASTONARCH.COM

**40 WOOSTER STREET**  
NEW YORK, NY 10013  
**A-9**  
DATE: 04.07.15

MOCK-UP PHOTOGRAPHS

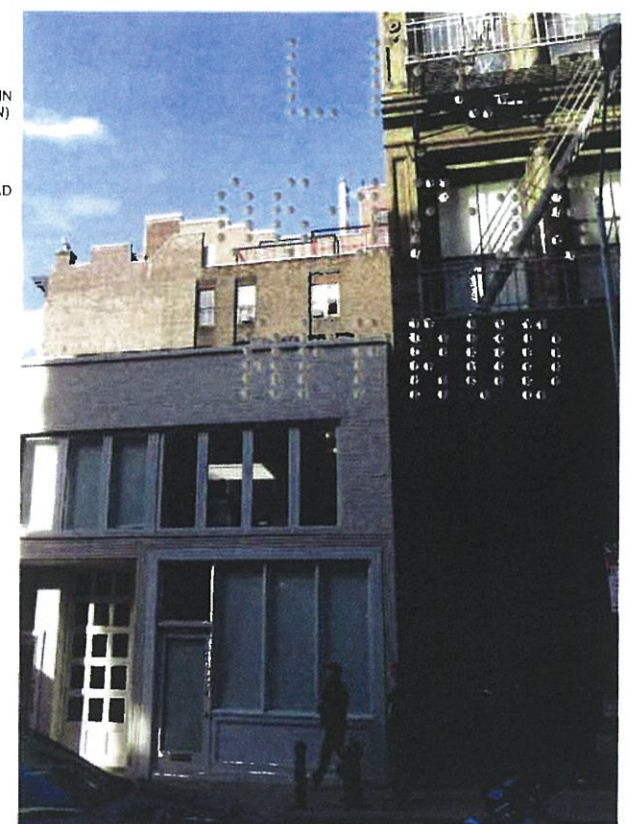




4 VIEW 06: MOCK-UP PHOTOGRAPH  
SCALE: N.T.S.



5 VIEW 06: WITH 74 GRAND BDG. OUTLINE & PROPOSED BULKHEAD MASS PHOTOSHOPPED IN  
SCALE: N.T.S.



6 VIEW 07: MOCK-UP PHOTOGRAPH  
SCALE: N.T.S.

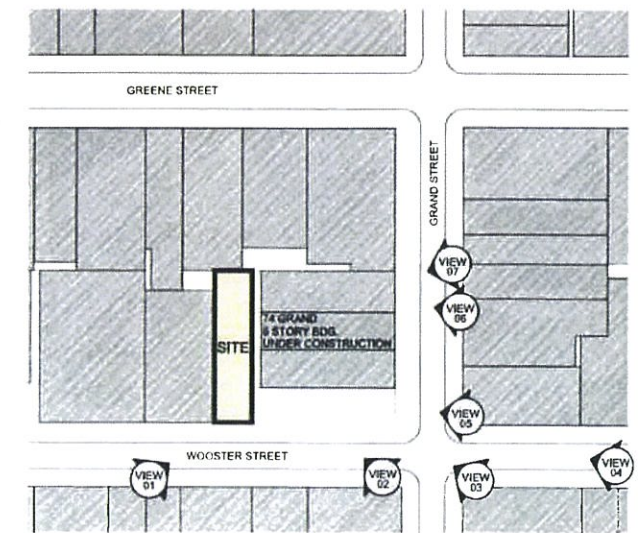


1 VIEW 05: MOCK-UP PHOTOGRAPH  
SCALE: N.T.S.



2 VIEW 05: WITH 74 GRAND BDG. OUTLINE & PROPOSED BULKHEAD MASS PHOTOSHOPPED IN  
SCALE: N.T.S.

74 GRAND  
(6 STORY BDG. IN  
CONSTRUCTION)  
  
PROPOSED  
PRIVATE  
STAIR BULKHEAD



3 KEY PLAN  
SCALE: N.T.S.

Yossi Melamed, R.A.  
462 Broadway, Third Floor  
New York, NY 10013  
Tel: 212-203-5053  
Mobile: 917-698-7236  
yosif@melamedarchitect.com  
www.melamedarchitect.com



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212-779-9570 TEL  
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NEW YORK, NY 10013  
**A-10**  
DATE: 04.07.15

MOCK-UP PHOTOGRAPHS





9 50 WOOSTER STREET  
PHOTOGRAPHED: 02.10.15



10 42 & 40 WOOSTER STREET  
PHOTOGRAPHED: 02.10.15



11 28-26 WOOSTER STREET  
PHOTOGRAPHED: 02.10.15



12 22 WOOSTER STREET  
PHOTOGRAPHED: 02.10.15



5 37 WOOSTER STREET  
PHOTOGRAPHED: 02.10.15



6 39 WOOSTER STREET  
PHOTOGRAPHED: 02.10.15



7 41 WOOSTER STREET  
PHOTOGRAPHED: 02.10.15



8 43 WOOSTER STREET  
PHOTOGRAPHED: 02.10.15



1 KEY MAP  
SCALE: N.T.S.



2 47 WOOSTER STREET  
PHOTOGRAPHED: 02.10.15



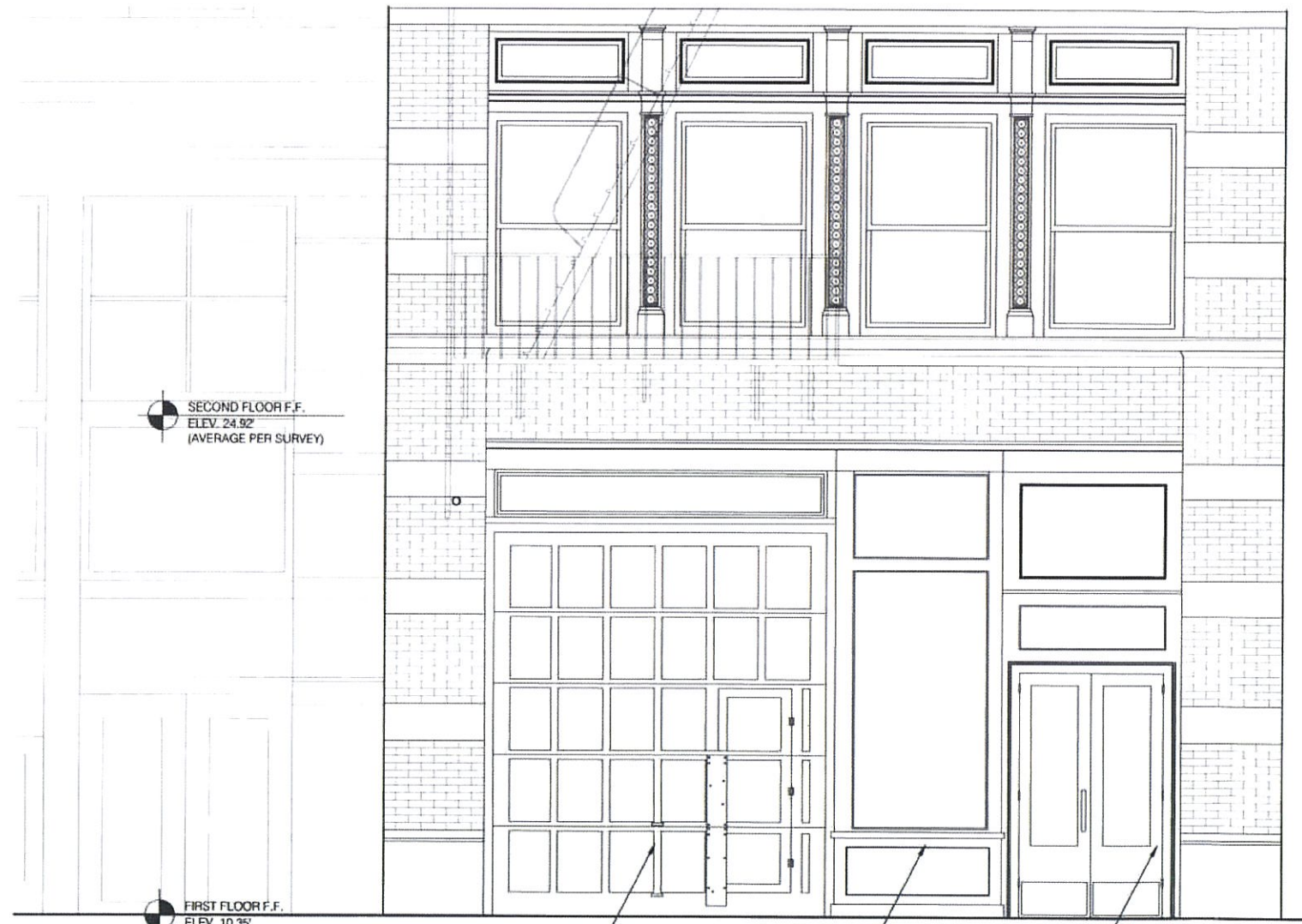
3 51 WOOSTER STREET  
PHOTOGRAPHED: 02.10.15



4 55 WOOSTER STREET  
PHOTOGRAPHED: 02.10.15



LPC  
05/15

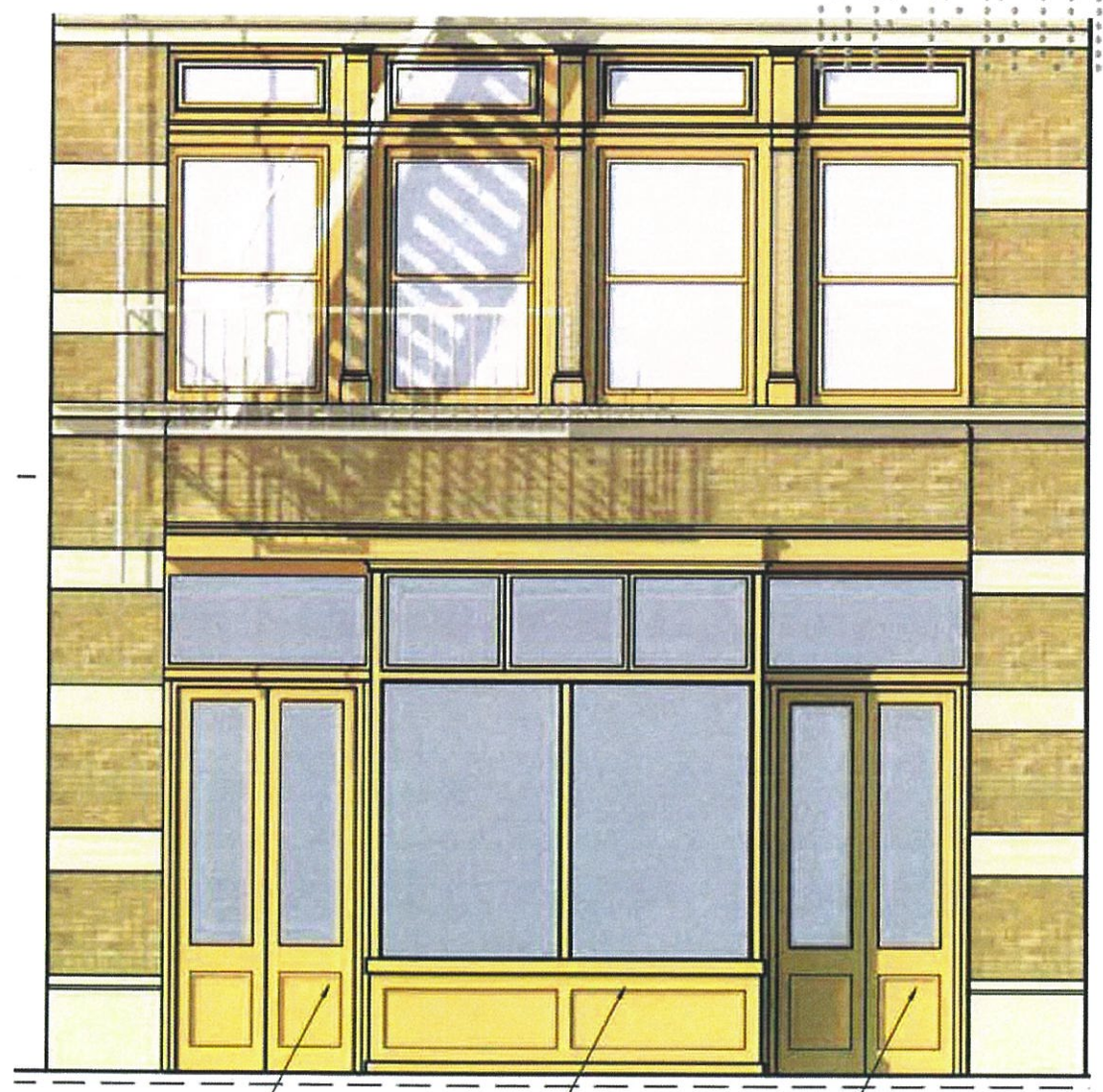


SECOND FLOOR F.F.  
ELEV. 24.92  
(AVERAGE PER SURVEY)

FIRST FLOOR F.F.  
ELEV. 10.35'  
(AVERAGE PER SURVEY)

- EXISTING NON-ORIGINAL METAL & GLASS ROLL DOWN DOOR WITH MAN DOOR TO BE REMOVED AND DISPOSED OF
- EXISTING NON-ORIGINAL WOOD & GLASS INFILL TO BE REMOVED AND DISPOSED OF
- EXISTING NON-ORIGINAL ALUMINUM & GLASS DOORS & TRANSOM TO BE REMOVED AND DISPOSED OF

1 EXISTING STOREFRONT ELEVATION  
SCALE: 1/2" = 1'-0"



- PROPOSED WOOD & GLASS DOORS WITH TRANSOM, TO MATCH ORIGINAL CONFIGURATION NOTED ON c. 1940s TAX PHOTO
- PROPOSED WOOD & GLASS STOREFRONT, TO MATCH ORIGINAL CONFIGURATION NOTED ON c. 1940s TAX PHOTO
- PROPOSED WOOD & GLASS DOORS WITH TRANSOM, TO MATCH ORIGINAL CONFIGURATION NOTED ON c. 1940s TAX PHOTO

2 PROPOSED STOREFRONT ELEVATION  
SCALE: 1/2" = 1'-0"

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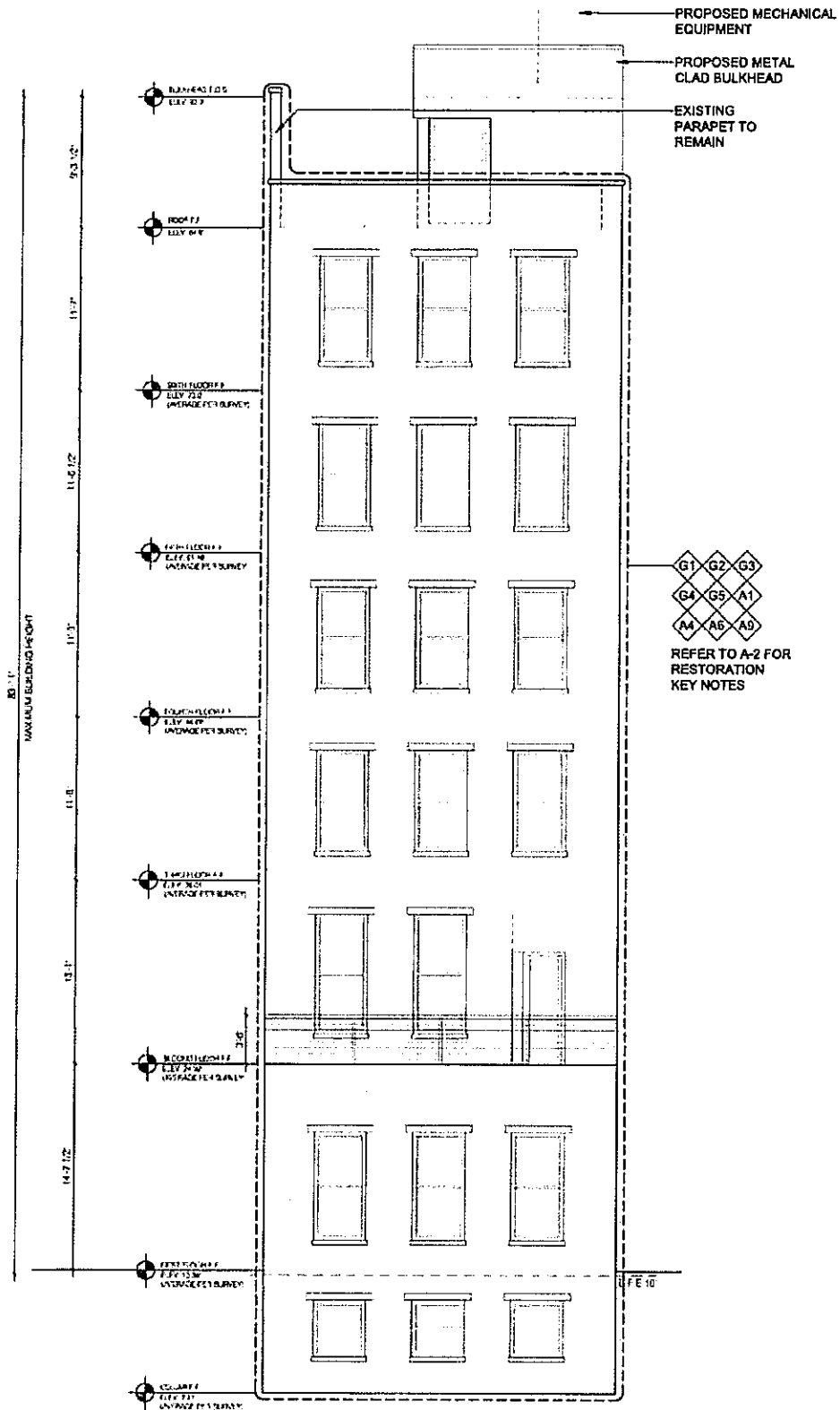


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40 WOOSTER STREET  
NEW YORK, NY 10013  
**APPENDIX-2**  
DATE: 04.07.15

EXISTING & PROPOSED STOREFRONT ELEVATIONS









5 SW CORNER OF BUILDING, OPEN JOINTS & PREVIOUS REPAIRS  
PHOTOGRAPHED: 01.20.15



6 SOUTH ELEVATION, SOILING & DETERIORATED MASONRY  
PHOTOGRAPHED: 01.20.15



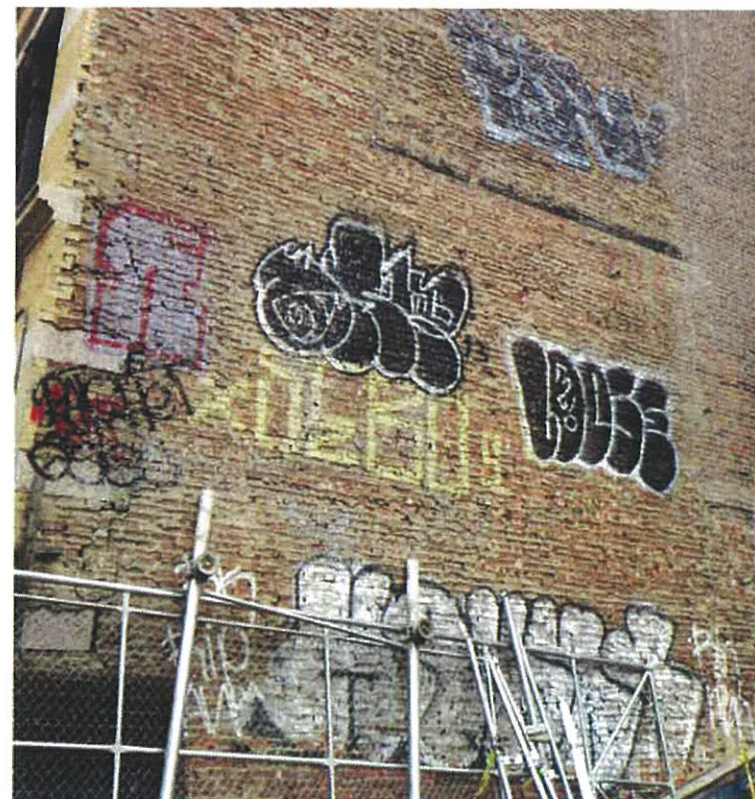
7 ROOF LEVEL PARAPET, LOOKING WEST  
PHOTOGRAPHED: 01.20.15



8 TYPICAL WINDOW AT EAST ELEVATION  
PHOTOGRAPHED: 01.20.15



1 SOUTH ELEVATION, GRAFFITI & OPEN JOINTS  
PHOTOGRAPHED: 01.20.15



2 SOUTH ELEVATION, GRAFFITI AND OPEN JOINTS  
PHOTOGRAPHED: 01.20.15



3 ROOF LEVEL, LOOKING EAST  
PHOTOGRAPHED: 01.20.15



4 EAST ELEVATION  
PHOTOGRAPHED: 01.20.15



**THE COUNCIL  
THE CITY OF NEW YORK**

Appearance Card

I intend to appear and speak on Int. No. \_\_\_\_\_ Res. No. \_\_\_\_\_

in favor  in opposition

Date: 8-21-17

(PLEASE PRINT)

Name: Fabricio Alonzo

Address: 2363 G Tremont Ave

I represent: Made in Puerto Rico

Address: 2363 G Tremont Ave

**THE COUNCIL  
THE CITY OF NEW YORK**

Appearance Card

I intend to appear and speak on Int. No. \_\_\_\_\_ Res. No. \_\_\_\_\_

in favor  in opposition

Date: 8/21/17

(PLEASE PRINT)

Name: Patty Sullivan

Address: 367 Third Ave

I represent: CRC Hospitality Group LLC

Address: 367 Third Ave

**THE COUNCIL  
THE CITY OF NEW YORK**

Appearance Card

I intend to appear and speak on Int. No. 50 NEWS Res. No. \_\_\_\_\_

in favor  in opposition

Date: 8/21/17

(PLEASE PRINT)

Name: JOHN WOELFLING

Address: 1385 BROADWAY, 15th FLOOR

I represent: ICL

Address: 50 BROAD STREET

THE COUNCIL  
THE CITY OF NEW YORK

Appearance Card

I intend to appear and speak on Int. No. 20175396 TCA Res. No. \_\_\_\_\_

in favor  in opposition

Date: 05.21.17

(PLEASE PRINT)

Name: MATTHEW CRUZ

Address: 3165 E Tremont Ave Bx, NY 10461

I represent: Bronx Community Board #10

Address: \_\_\_\_\_

THE COUNCIL  
THE CITY OF NEW YORK

Appearance Card

I intend to appear and speak on Int. No. 070690707 Res. No. \_\_\_\_\_

in favor  in opposition 462 BROADWAY

Date: 08/21/2017

(PLEASE PRINT)

Name: PETER DAVIES

Address: 540 BROADWAY 5A NYC 1002

I represent: BA

Address: \_\_\_\_\_

THE COUNCIL  
THE CITY OF NEW YORK

Appearance Card

I intend to appear and speak on Int. No. \_\_\_\_\_ Res. No. \_\_\_\_\_

in favor  in opposition

Date: 9.21.17

(PLEASE PRINT)

Name: FRANK ANGELO

Address: 747 THIRD AVE

I represent: 40 2000STER RESTAURANT, LLC

Address: \_\_\_\_\_



**THE COUNCIL  
THE CITY OF NEW YORK**

Appearance Card

I intend to appear and speak on Int. No. LV 0716-2017-307 Res. No. \_\_\_\_\_

in favor  in opposition

Date: Aug 21, 2017

(PLEASE PRINT)

Name: Ronnie Way

Address: 458 Broadway New York

I represent: Residents of SoHo

Address: \_\_\_\_\_

**THE COUNCIL  
THE CITY OF NEW YORK**

Appearance Card

I intend to appear and speak on Int. No. \_\_\_\_\_ Res. No. \_\_\_\_\_

in favor  in opposition

Date: 8/21/17

(PLEASE PRINT)

Name: JOSEPH BIBER

Address: 125 BROAD ST, NYC

I represent: ICL

Address: 125 BROAD ST. NYC

**THE COUNCIL  
THE CITY OF NEW YORK**

Appearance Card

I intend to appear and speak on Int. No. \_\_\_\_\_ Res. No. \_\_\_\_\_

in favor  in opposition

Date: 8/21/17

(PLEASE PRINT)

Name: Patty Sullivan

Address: 183 W 10th St

I represent: While We Were Young

Address: 183 W 10th

**THE COUNCIL  
THE CITY OF NEW YORK**

Appearance Card

I intend to appear and speak on Int. No. \_\_\_\_\_ Res. No. \_\_\_\_\_

in favor  in opposition

Date: 8/21/17

(PLEASE PRINT)

Name: SALIMAN KHAN

Address: 820 WASHINGTON ST

I represent: FRIENDS OF THE HIGH CINE

Address: "

**THE COUNCIL  
THE CITY OF NEW YORK**

Appearance Card

I intend to appear and speak on Int. No. \_\_\_\_\_ Res. No. \_\_\_\_\_

in favor  in opposition

Date: 8/21/17

(PLEASE PRINT)

Name: MICHAEL BRADLEY

Address: \_\_\_\_\_

I represent: NYC PARKS & RECREATION

Address: ARSENAL, CENTRAL PARK, 10065

**THE COUNCIL  
THE CITY OF NEW YORK**

Appearance Card

I intend to appear and speak on Int. No. \_\_\_\_\_ Res. No. \_\_\_\_\_

in favor  in opposition

Date: 8/21/17

(PLEASE PRINT)

Name: Bradford Dunigan

Address: 183 W 10th ST New York, NY 10014

I represent: White We Were Young

Address: 183 W 10th ST New York, NY 10014

Please complete this card and return to the Sergeant-at-Arms



THE COUNCIL  
THE CITY OF NEW YORK

50 NEWS.

Appearance Card

I intend to appear and speak on Int. No. \_\_\_\_\_ Res. No. \_\_\_\_\_  
 in favor  in opposition

Date: 8/21/2017

(PLEASE PRINT)

Name: GIOVANNI GIOMI

Address: 100 LINDEN BLVD

I represent: GOLDMAN MARRIS LLC

Address: 475 PARK AVE SOUTH

Please complete this card and return to the Sergeant-at-Arms

THE COUNCIL  
THE CITY OF NEW YORK

50 NEWS  
ST

Appearance Card

I intend to appear and speak on Int. No. \_\_\_\_\_ Res. No. \_\_\_\_\_  
 in favor  in opposition

Date: 8/21/17

(PLEASE PRINT)

Name: NICOLE ROBINSON STURNE

Address: 125 Broad St NY, NY

I represent: ICC

Address: \_\_\_\_\_

Please complete this card and return to the Sergeant-at-Arms